

SITE DEVELOPMENT PLANS FOR:



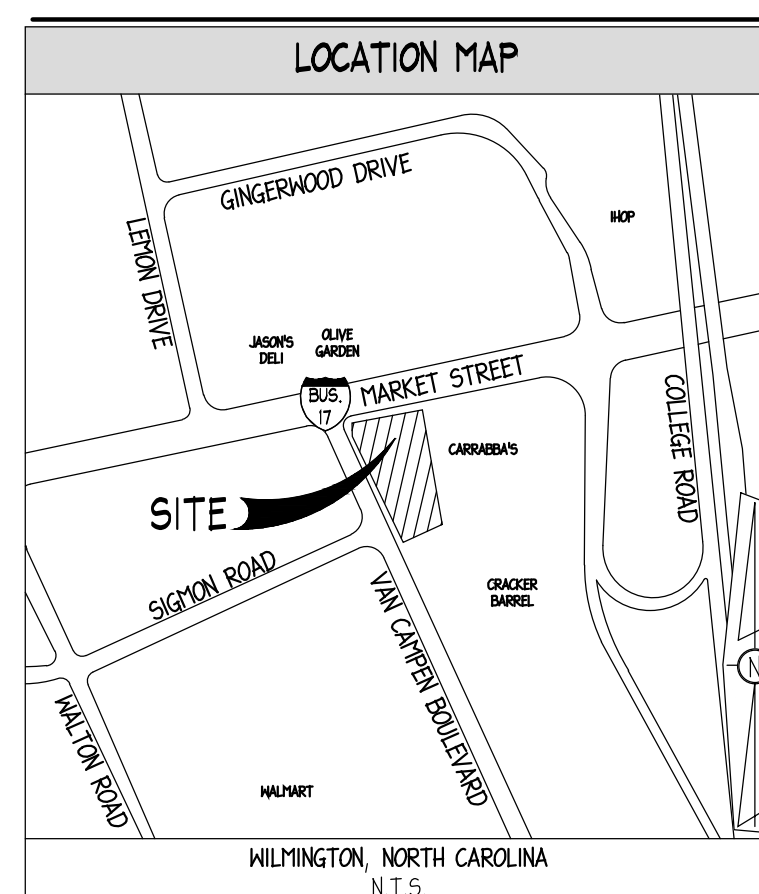
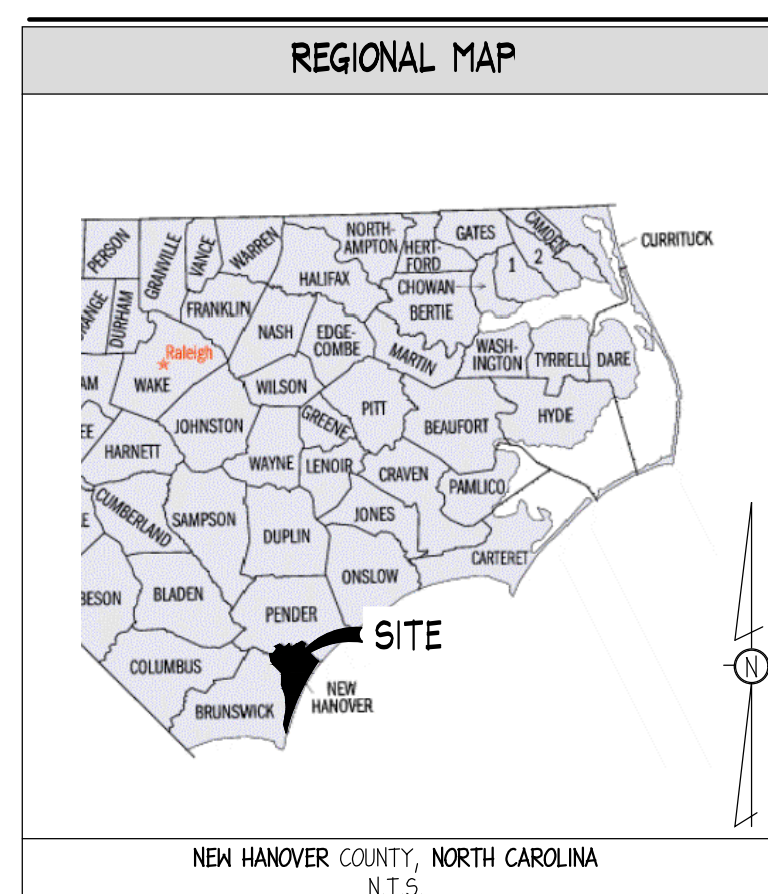
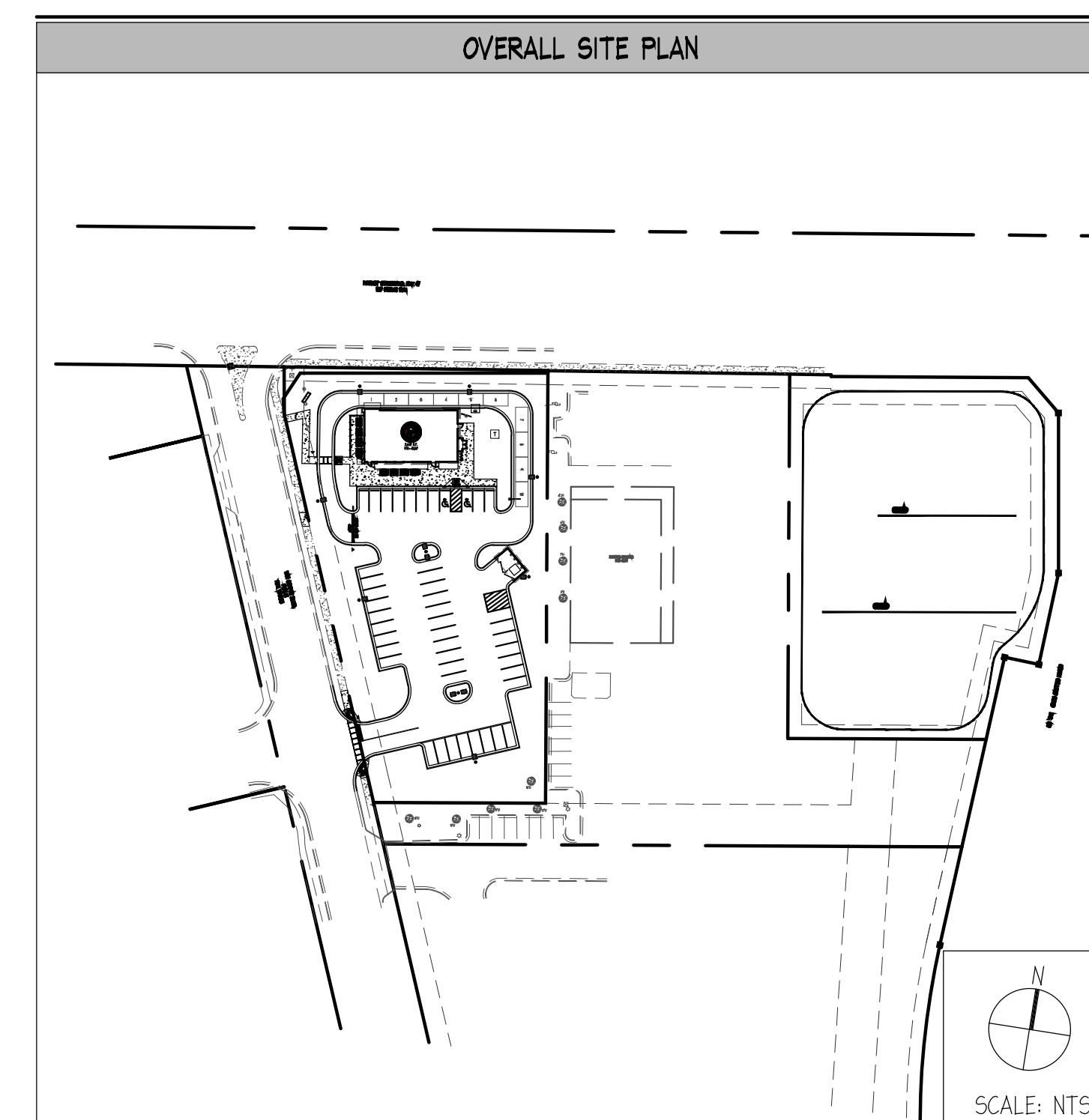
PANDA EXPRESS, INC.
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
NEW HANOVER COUNTY, WILMINGTON, NORTH CAROLINA

PREPARED BY:



PREPARED FOR:

PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSEMEAD, CALIFORNIA 91770
PHONE: 626-799-9898
FAX: 626-372-8288



SITE INFORMATION	
JURISDICTION:	WILMINGTON, NORTH CAROLINA NEW HANOVER COUNTY
ZONING:	RB (REGIONAL BUSINESS) SITE IS IN NO OVERLAY DISTRICTS.
PARCEL ID#:	RD496-005-027-000
CAPLA LAND USE CLASSIFICATION:	URBAN
REQUIRED BUILDING SETBACKS:	FRONT: 25' (BOTH MARKET AND VAN CAMPEN ARE FRONTS) SIDE: 0' REAR: 15'
PROPOSED BUILDING SETBACKS:	FRONT (MARKET): 25.5' FRONT (VAN CAMPEN): 44.5' SIDE: 44.5' REAR: 246.5'
REQUIRED PARKING:	MINIMUM: 1 PER 4 SEATS OR 1 PER 80 SF GFA EXCLUSIVE OF KITCHEN AND RESTROOM FACILITIES. BASED ON SEATS: 98 SEATS / 4 SEATS = 25 SPACES BASED ON SF: 2,600 SF / 80 SF = 33 SPACES
	MAXIMUM: 1 SPACE PER 2.5 SEATS OR 1 PER 65 SF GFA EXCLUSIVE OF KITCHEN AND RESTROOM FACILITIES. BASED ON SEATS: 98 SEATS / 2.5 SEATS = 39 SPACES BASED ON SF: 2,600 SF / 65 SF = 40 SPACES
PROPOSED PARKING:	85' X 80' (REGULAR) = 44 8' X 8' (HC) = 2 TOTAL = 46
DRIVE AISLE:	24'
SITE AREA CALCULATIONS:	SITE: 11.8 AC. PROPOSED PERVIOUS AREA: 10.44 AC, 39% EXISTING PERVIOUS AREA: 10.25 AC, 22% PROPOSED IMPERVIOUS AREA: 10.64 AC, 61% EXISTING IMPERVIOUS AREA: 10.48 AC, 78% DISTURBED AREA: 11.4 AC.
EXISTING BUILDING:	5,655 SF AND 0.11 FAR
PROPOSED BUILDING:	2,569 SF AND 0.05 FAR NUMBER OF UNITS: N/A NUMBER OF BUILDINGS: 1 PROPOSED BUILDING HEIGHT: 23'-6" PROPOSED BUILDING STORIES: 1
FLOOD HAZARD:	NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. MAP NO. 372091A0001, DATED 04/03/2006.
EXISTING INFORMATION:	PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA, DATED OCTOBER, 2016 (SEE SHEET CO2.0), AND AS-BUILT DATED 01/05/2010 BY THE RBA GROUP, INC. PROVIDED BY THE CAPE FEAR PUBLIC UTILITY AUTHORITY ON 10/18/16.

PROJECT CONTACTS				
SELLER/LANDLORD MR. HIRSH PATEL PHONE: (649) 333-4333 EMAIL: HIRSH.PATEL@GMAIL.COM	DEVELOPER PANDA EXPRESS, INC. MR. CLAY WORTHY 1683 WALNUT GROVE AVENUE ROSEMEAD, CA 91770 PHONE: (626) 799-9898	CIVIL ENGINEER INGENIUM ENTERPRISES, INC. MR. JAMES NEFF 221 ROSWELL STREET, SUITE 100 ALPHARETTA, GA 31709 PHONE: (770) 437-8850	ARCHITECT CINACCHI + PETERSON 100 WOODSTOCK ROAD, SUITE 101 ORLANDO, FL 32803 PHONE: (407) 661-9100	LAND SURVEYOR MICHAEL UNDERWOOD AND ASSOCIATES, PA MR. MICHAEL UNDERWOOD 102 CINEMA DRIVE, SUITE A WILMINGTON, NC 28403 PHONE: (910) 855-0650 FAX: (910) 855-0395
MEP CINACCHI + PETERSON 100 WOODSTOCK ROAD, SUITE 101 ORLANDO, FL 32803 PHONE: (407) 661-9100	SITE LIGHTING VILLA LIGHTING SUPPLY MR. RYAN ZINSELEHER 2929 CHOUTEAU AVENUE ST. LOUIS, MO 63103 PHONE: (314) 633-0423 EMAIL: RYANZINSELEHER@VILLALIGHTING.COM	MUNICIPAL SEWER AGENCY CAPE FEAR PUBLIC UTILITY AUTHORITY MS. DANIELLE SMITH 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 PHONE: (910) 332-6468 EMAIL: DANIELLE.SMITH@CFPUA.ORG	MUNICIPAL WATER AGENCY CAPE FEAR PUBLIC UTILITY AUTHORITY MS. DANIELLE SMITH 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 PHONE: (910) 332-6468 EMAIL: DANIELLE.SMITH@CFPUA.ORG	ELECTRIC DIKE ENERGY PROGRESS MR. WILSON HUDSPETH PO BOX 1771 RALEIGH, NC 27602 PHONE: (910) 465-3451 EMAIL: WILSON.HUDSPETH@DIKE-ENERGY.COM BUILDER EXPRESS LINE: (800) 636-0581
GAS PIEDMONT NATURAL GAS MS. CATHY PLEASANT 1521 SOUTH 10TH STREET WILMINGTON, NC 28401 PHONE: (910) 251-2827 EMAIL: CATHY.PLEASANT@KE-ENERGY.COM	TELEPHONE COMPANY ATTN: MR. JAMES BATSON 102 NORTH 4TH STREET WILMINGTON, NC 28401 PHONE: (910) 346-1621 EMAIL: JAMES.BATSON@ATT.COM	LANDSCAPE ARCHITECT WAS DESIGN, INC. MR. JARED ACY P.O. BOX 10201 JACKSON, MS 39236 PHONE: (601) 790-0781 EMAIL: JACY@WAS-DESIGN.COM	SIGNAGE ALLEN INDUSTRIES MR. RAY TART 400 SHERATON COURT GREENSBORO, NC 27401 PHONE: (336) 615-9703 EMAIL: RAY.TART@ALLENINDUSTRIES.COM	FIRE CITY OF WILMINGTON FIRE DEPARTMENT MR. CHRIS WALKER, FIRE MARSHAL 230 GOVERNMENT CENTER DRIVE, SUITE 150 PO BOX 880 WILMINGTON, NC 28402 PHONE: (910) 343-3918 EMAIL: CHRIS.WALKER@WILMINGTONNC.GOV

CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH SIGN COMPANY AND PANDA EXPRESS PM FOR FINAL LOCATION OF DRIVE THRU ELEMENTS (MENU BOARD, ORDER CANOPY, CLEARANCE BAR, AND DIRECTIONAL SIGNAGE) PRIOR TO INSTALLATION. CONTRACTOR SHALL ENSURE THAT PROPOSED UTILITIES, INCLUDING SITE LIGHTING CONDUIT ARE NOT INSTALLED SO THAT THEY WOULD CONFLICT WITH THE PLACEMENT OF THE DRIVE THRU ELEMENTS AND FOOTINGS.

NO WETLANDS EXIST ON THE SITE.

THE CONTRACTOR IS RESPONSIBLE FOR MEETING ALL LOCAL, STATE, AND FEDERAL CERTIFICATION AND LICENSING REQUIREMENTS FOR CONSTRUCTION, INCLUDING BUT NOT LIMITED TO: LAND DISTURBANCE PERMITS, BUILDING PERMITS, DEMOLITION PERMITS, NPDES PERMITS, DEWATERING PERMITS, ETC.

NO CONSERVATION RESOURCES OR RARE/ENDANGERED SPECIES ARE ASSOCIATED WITH THE THE SITE IN ACCORDANCE WITH THE NORTH CAROLINA WILDLIFE RESOURCES COMMISSION.

CONTRACTOR SHALL ENSURE 100% COVERAGE OF ALL LANDSCAPED AREAS WITHIN LIMITS OF WORK, INCLUDING POTENTIAL OFFSITE AREAS. COVERAGE SHALL INCLUDE BOTH LANDSCAPING AND IRRIGATION.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

THE GEOTECHNICAL INVESTIGATION PREPARED BY TERRACON CONSULTANTS, INC., DATED 09/28/2016 AND ANY SUBSEQUENT ADDENDA ARE CONSIDERED PART OF THE CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE REPORT'S RECOMMENDATIONS AND FINDINGS WITH THE OWNER, ENGINEER AND ARCHITECT PRIOR TO CONSTRUCTION. IMPLEMENTATION OF THE REPORT'S RECOMMENDATIONS MAY REQUIRE THE CONTRACTOR TO PERFORM ADDITIONAL WORK NOT SHOWN ON THE CIVIL PLANS INCLUDING BUT NOT LIMITED TO EXCAVATION, REMEDIATION, DEWATERING, COMPACTION ETC.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
CLAY WORTHY
602-931-6540



CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

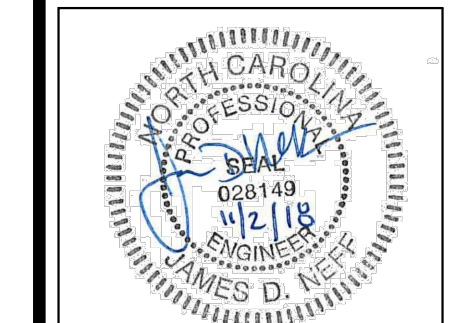
CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

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CO2.1	DEMOLITION PLAN
CO2.2	TREE REMOVAL PLAN
CO3.0	SITE PLAN
CO3.1	STAKING PLAN
CO3.2	HARDSCAPE DETAILS I
CO3.3	HARDSCAPE DETAILS II
CO3.4	HARDSCAPE DETAILS III
CO3.5	HARDSCAPE DETAILS IV
CO3.6	SIGHT DISTANCES
CO4.0	UTILITY PLAN
CO4.1	UTILITY DETAILS I
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CO4.5	PROFILES I
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CO6.3	ESPC PLAN - FINAL PHASE
CO6.4	ESPC DETAILS I
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CO6.6	ESPC DETAILS III
CO6.7	ESPC DETAILS IV
CO6.8	ESPC DETAILS V
CO6.9	ESPC DETAILS VI
CO6.10	ESPC DETAILS VII
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LO1.1	LANDSCAPE DETAILS
SLO1.0	SITE LIGHTING (BY OTHERS)



ingenium ENTERPRISES
 PLANNING & ENGINEERING
 14491 N DALE HENRY HWY
 SUITE 250
 TAMPA, FL 33618
 813.367.0004
 INFO@INGENIUMENTERPRISES.COM



PANDA EXPRESS, INC.
 STORE NUMBER: #####
 DEVELOPMENT NUMBER: 6611
 11 VAN CAMPEN BOULEVARD
 WILMINGTON, NORTH CAROLINA



CLIENT:
PANDA EXPRESS, INC.
 1683 WALNUT GROVE AVENUE
 ROSEMEAD, CALIFORNIA 91770
 PHONE: 626-799-9898

REVISION HISTORY	
1	ISSUE FOR PERMIT

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.

PROJ # 180058
 DWG NAME 180058_CO1.DWG
 ISSUE DATE 11/02/2018
 PROJ TGR LLC

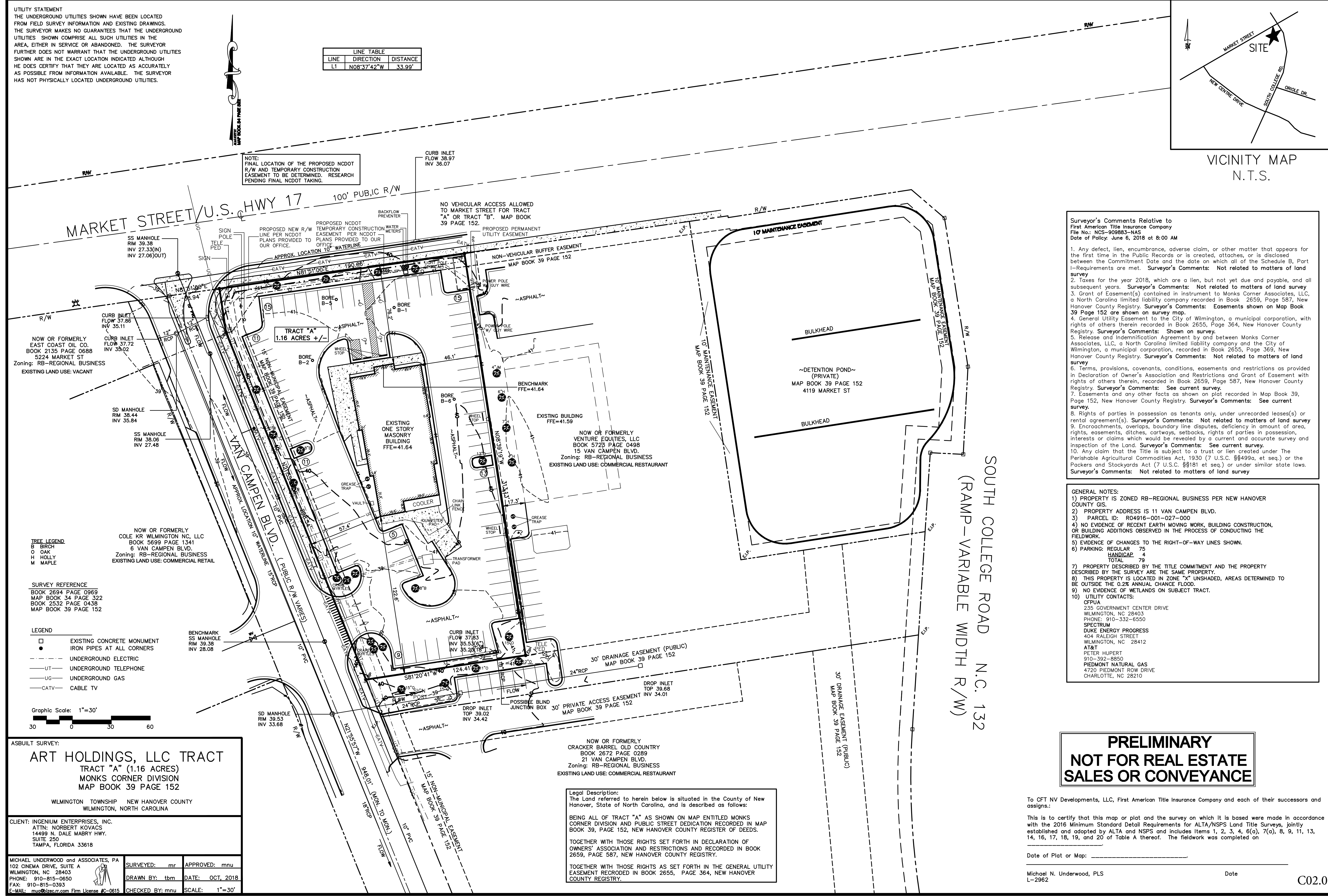
COVER SHEET
 CO1.0
 SHEET NUMBER

ISSUE FOR PERMIT

UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED UNDERGROUND UTILITIES.

LINE	DIRECTION	DISTANCE
L1	N08°37'42"W	33.99'

NOTE:
 FINAL LOCATION OF THE PROPOSED NCDOT R/W AND TEMPORARY CONSTRUCTION EASEMENT TO BE DETERMINED. RESEARCH PENDING FINAL NCDOT TAKING.



VICINITY MAP
 N.T.S.

Surveyor's Comments Relative to First American Title Insurance Company
 File No.: NCS-909883-NAS
 Date of Policy: June 6, 2018 at 8:00 AM

- Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I-Requirements are met. Surveyor's Comments: Not related to matters of land survey.
- Taxes for the year 2018, which are a lien, but not yet due and payable, and all subsequent years. Surveyor's Comments: Not related to matters of land survey.
- Grant of Easement(s) contained in instrument to Monks Corner Associates, LLC, a North Carolina limited liability company recorded in Book 2659, Page 587, New Hanover County Registry. Surveyor's Comments: Easements shown on Map Book 39 Page 152 are shown on survey map.
- General Utility Easement to the City of Wilmington, a municipal corporation, with rights of others therein recorded in Book 2655, Page 364, New Hanover County Registry. Surveyor's Comments: Shown on survey.
- Release and Indemnification Agreement by and between Monks Corner Associates, LLC, a North Carolina limited liability company and the City of Wilmington, a municipal corporation, recorded in Book 2655, Page 369, New Hanover County Registry. Surveyor's Comments: Not related to matters of land survey.
- Terms, provisions, covenants, conditions, easements and restrictions as provided in Declaration of Owner's Association and Restrictions and Grant of Easement with rights of others therein, recorded in Book 2659, Page 587, New Hanover County Registry. Surveyor's Comments: See current survey.
- Easements and any other facts as shown on plot recorded in Map Book 39, Page 152, New Hanover County Registry. Surveyor's Comments: See current survey.
- Rights of parties in possession as tenants only, under unrecorded leases(s) or rental agreement(s). Surveyor's Comments: Not related to matters of land survey.
- Encroachments, overlaps, boundary line disputes, deficiency in amount of area, rights, easements, ditches, cartways, setbacks, rights of parties in possession, interests or claims which would be revealed by a current and accurate survey and inspection of the Land. Surveyor's Comments: See current survey.
- Any claim that the Title is subject to a trust or lien created under The Perishable Agricultural Commodities Act, 1930 (7 U.S.C. §§499a, et seq.) or the Packers and Stockyards Act (7 U.S.C. §§181 et seq.) or under similar state laws. Surveyor's Comments: Not related to matters of land survey.

GENERAL NOTES:
 1) PROPERTY IS ZONED RB-REGIONAL BUSINESS PER NEW HANOVER COUNTY GIS.
 2) PROPERTY ADDRESS IS 11 VAN CAMPEN BLVD.
 3) PARCEL ID: R04916-001-027-000
 4) NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
 5) EVIDENCE OF CHANGES TO THE RIGHT-OF-WAY LINES SHOWN.
 6) PARKING: REGULAR 75
 HANDICAP 4
 TOTAL 79
 7) PROPERTY DESCRIBED BY THE TITLE COMMITMENT AND THE PROPERTY DESCRIBED BY THE SURVEY ARE THE SAME PROPERTY.
 8) THIS PROPERTY IS LOCATED IN ZONE "X" UNSHADED, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.
 9) NO EVIDENCE OF WETLANDS ON SUBJECT TRACT.
 10) UTILITY CONTACTS:
 CFPWA
 235 GOVERNMENT CENTER DRIVE
 WILMINGTON, NC 28403
 PHONE: 910-332-6550
 SPECTRUM
 DUKE ENERGY PROGRESS
 404 RALEIGH STREET
 WILMINGTON, NC 28412
 AT&T
 PETER HUPERT
 910-392-8850
 PIEDMONT NATURAL GAS
 4720 PIEDMONT ROW DRIVE
 CHARLOTTE, NC 28210

PRELIMINARY
NOT FOR REAL ESTATE
SALES OR CONVEYANCE

To CFT NV Developments, LLC, First American Title Insurance Company and each of their successors and assigns:
 This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes Items 1, 2, 3, 4, 6(a), 7(a), 8, 9, 11, 13, 14, 16, 17, 18, 19, and 20 of Table A thereof. The fieldwork was completed on _____

Date of Plat or Map: _____
 Michael N. Underwood, PLS L-2962 Date C02.0

SURVEY REFERENCE
 BOOK 2694 PAGE 0969
 MAP BOOK 34 PAGE 322
 BOOK 2532 PAGE 0438
 MAP BOOK 39 PAGE 152

LEGEND
 □ EXISTING CONCRETE MONUMENT
 ● IRON PIPES AT ALL CORNERS
 --- UNDERGROUND ELECTRIC
 ---UT--- UNDERGROUND TELEPHONE
 ---UG--- UNDERGROUND GAS
 ---CATV--- CABLE TV

Graphic Scale: 1"=30'
 30 0 30 60

ASBUILT SURVEY:
ART HOLDINGS, LLC TRACT
 TRACT "A" (1.16 ACRES)
 MONKS CORNER DIVISION
 MAP BOOK 39 PAGE 152
 WILMINGTON TOWNSHIP NEW HANOVER COUNTY
 WILMINGTON, NORTH CAROLINA

CLIENT: INGENIUM ENTERPRISES, INC.
 ATTN: NORBERT KOVACS
 14499 N. DALE MABRY HWY.
 SUITE 250
 TAMPA, FLORIDA 33618

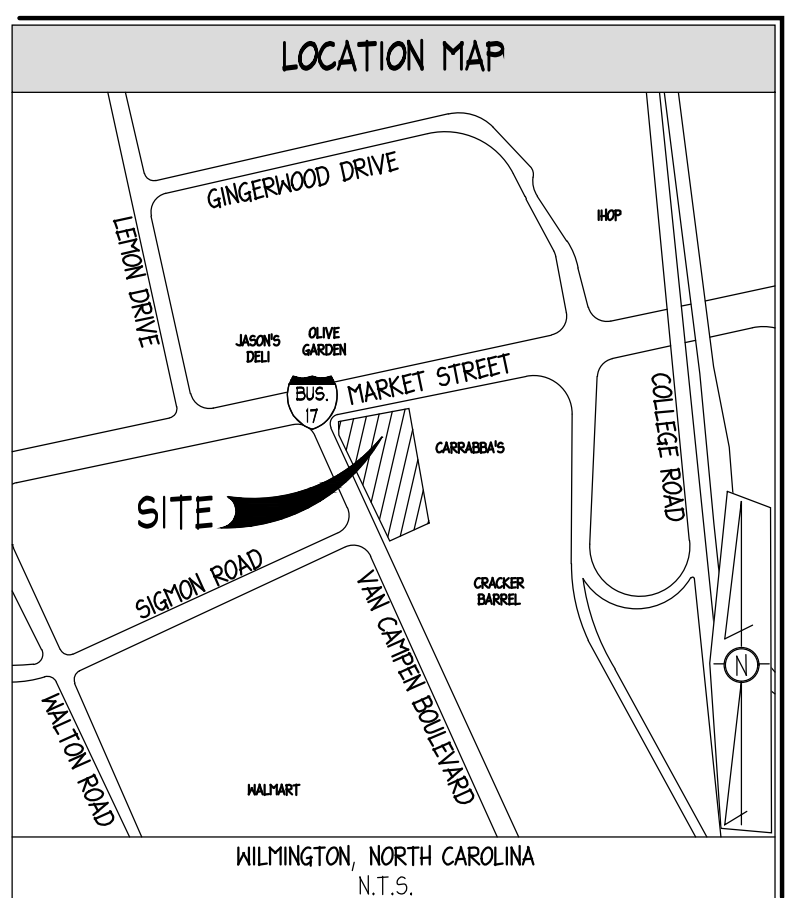
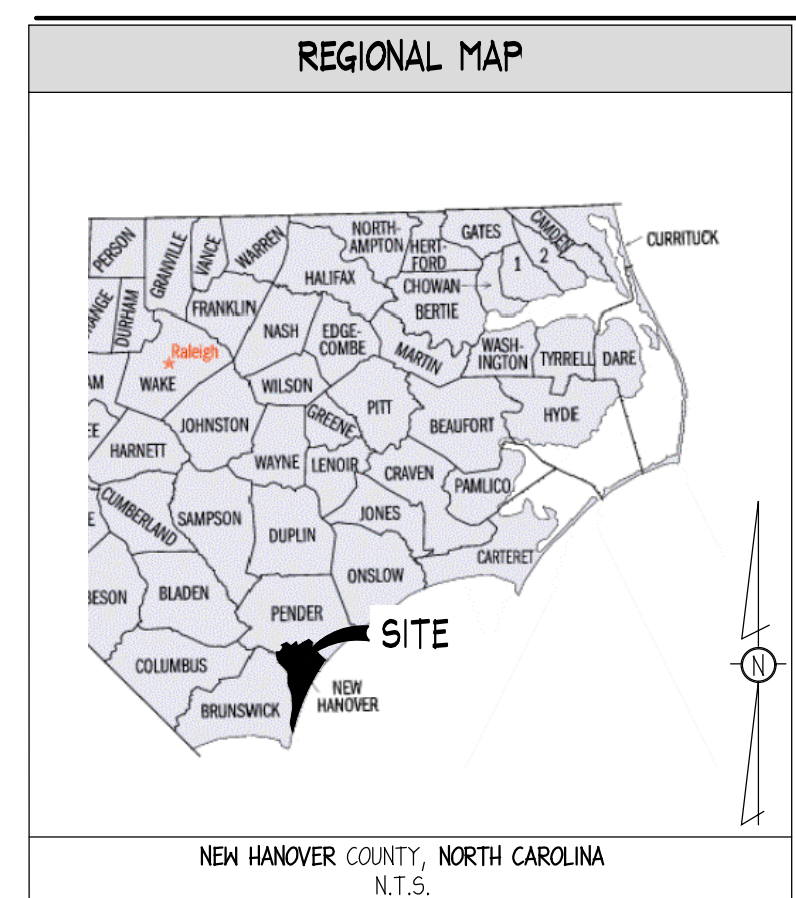
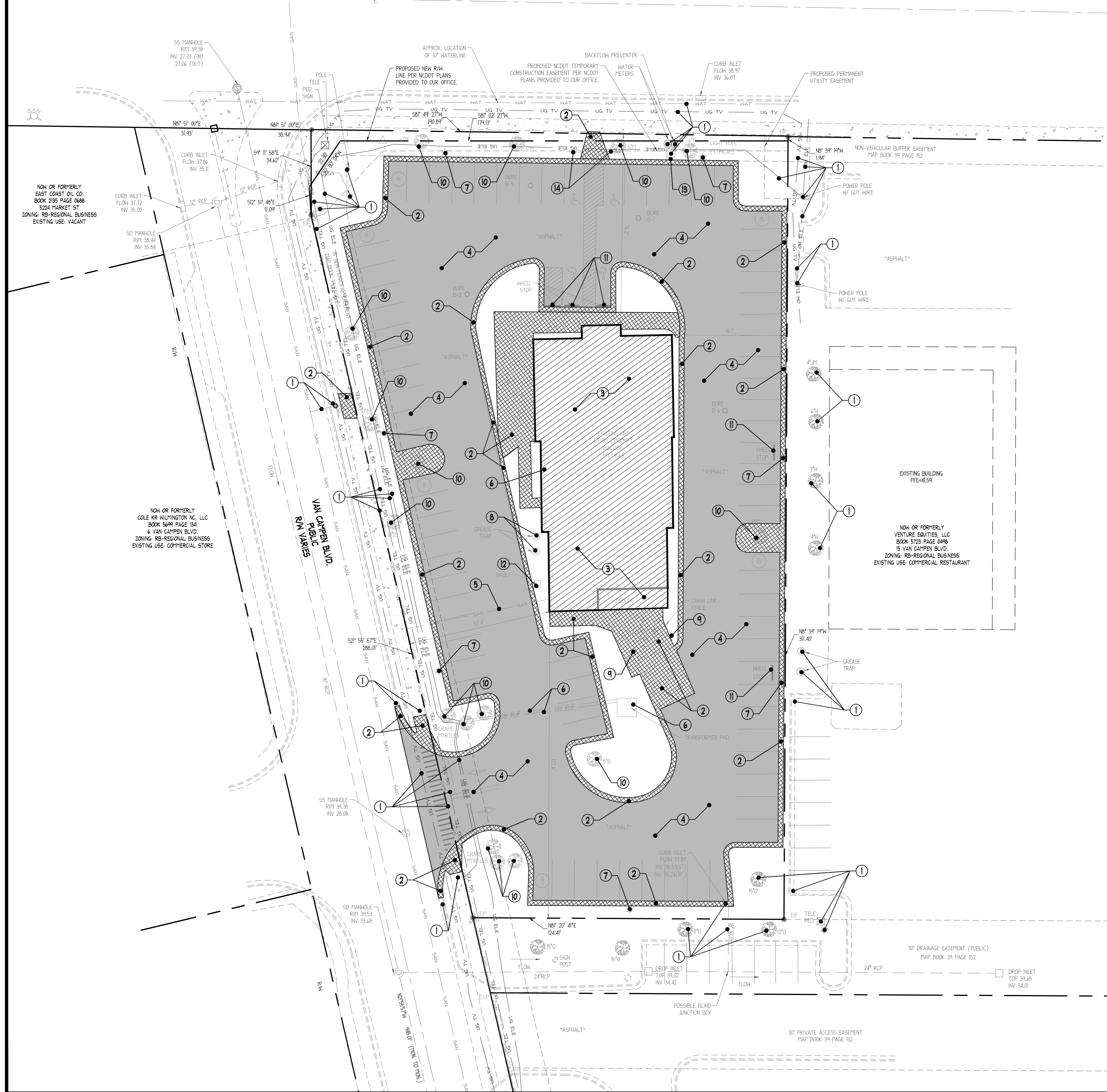
MICHAEL UNDERWOOD and ASSOCIATES, PA
 102 CINEMA DRIVE, SUITE A
 WILMINGTON, NC 28403
 PHONE: 910-815-0650
 FAX: 910-815-0393
 E-MAIL: muo@uzec.com Firm License #C-0615

SURVEYED: mr APPROVED: mnu
 DRAWN BY: tbn DATE: OCT, 2018
 CHECKED BY: mnu SCALE: 1"=30'

NOW OR FORMERLY
 CRACKER BARREL OLD COUNTRY
 BOOK 2672 PAGE 0289
 21 VAN CAMPEN BLVD.
 Zoning: RB-REGIONAL BUSINESS
 EXISTING LAND USE: COMMERCIAL RESTAURANT

Legal Description:
 The Land referred to herein below is situated in the County of New Hanover, State of North Carolina, and is described as follows:
 BEING ALL OF TRACT "A" AS SHOWN ON MAP ENTITLED MONKS CORNER DIVISION AND PUBLIC STREET DEDICATION RECORDED IN MAP BOOK 39, PAGE 152, NEW HANOVER COUNTY REGISTER OF DEEDS.
 TOGETHER WITH THOSE RIGHTS SET FORTH IN DECLARATION OF OWNERS' ASSOCIATION AND RESTRICTIONS AND RECORDED IN BOOK 2659, PAGE 587, NEW HANOVER COUNTY REGISTRY.
 TOGETHER WITH THOSE RIGHTS AS SET FORTH IN THE GENERAL UTILITY EASEMENT RECORDED IN BOOK 2655, PAGE 364, NEW HANOVER COUNTY REGISTRY.

MARKET STREET/U.S. HWY 17
100' PUBLIC R/W



DEMOLITION LEGEND

- 1 PROTECT ALL ITEMS DURING ALL PHASES OF CONSTRUCTION (SEE GENERAL DEMOLITION NOTE #1). THE CONTRACTOR SHALL ENSURE THE INTEGRITY OF ALL ITEMS DENOTED TO BE PROTECTED THAT ARE ADJACENT TO ITEMS DENOTED TO BE DEMOLISHED AND WILL SAFELY REPAIR ANY SUCH ITEMS TO THE REQUIRED JURISDICTIONAL STANDARDS.
- 2 SAWCUT AND REMOVE EXISTING SIDEWALK, CURB AND GUTTER, AND DUMPSTER PAD AND ASSOCIATED APPURTENANCES INCLUDING, BUT NOT LIMITED TO, REINFORCEMENT AND STONE BASE.
- 3 REMOVE EXISTING BUILDING AND ASSOCIATED APPURTENANCES INCLUDING, BUT NOT LIMITED TO, WALLS, BARNINGS, CANOPY, ROOF, ROOF-TOP MECHANICAL EQUIPMENT, FOUNDATION, FOOTINGS, UTILITIES WITHIN SLAB, FRENCH DRAINS, STEPS/STAIRS, CONCRETE PARKING AND STONE BASE.
- 4 REMOVE EXISTING ASPHALT AND ASSOCIATED APPURTENANCES INCLUDING, BUT LIMITED TO, REINFORCEMENT AND STONE BASE.
- 5 REMOVE EXISTING GAS LINE AND METER. SEE GENERAL DEMOLITION NOTE #3.
- 6 DISCONNECT ELECTRIC AND TELEPHONE SERVICE (LOCATION UNKNOWN) TO EXISTING BUILDING AND COORDINATE WITH UTILITY PROVIDER. SEE NOTE #3.
- 7 REMOVE ON-SITE LIGHT POLES & ALL ASSOCIATED UNDERGROUND LINES. SEE NOTE #3.
- 8 REMOVE EXISTING GREASE TRAP AND ALL ASSOCIATED APPURTENANCES. SEE NOTE #3.
- 9 REMOVE EXISTING FENCING AND ALL ASSOCIATED APPURTENANCES INCLUDING FOOTERS AND BASE.
- 10 REMOVE EXISTING ON-SITE TREES, INCLUDING STUMPS & ROOTS, TAKE CARE TO NOT DAMAGE NEIGHBOR'S PROPERTY.
- 11 REMOVE EXISTING WHEELSTOPS AND ALL ASSOCIATED APPURTENANCES.
- 12 REMOVE EXISTING VAULT AND ALL ASSOCIATED APPURTENANCES.
- 13 REMOVE EXISTING WATER LINES UP TO EXISTING WATER METERS AND BACKFLOW PREVENTERS. SEE NOTE #3.
- 14 REMOVE EXISTING HANDICAP PARKING SIGNS.

GENERAL DEMOLITION NOTES

1. ALL ITEMS TO BE PROTECTED SHALL BE PROTECTED THROUGH ALL PHASES OF CONSTRUCTION UNTIL FINAL ACCEPTANCE BY CITY OF WILMINGTON/NEW HANOVER COUNTY IS RECEIVED.
2. CONTRACTOR TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS WITH ALL DEMOLITION ACTIVITIES. IF ADDITIONAL REQUIREMENTS ARE REQUIRED FOR HAZARDOUS WASTE REMOVAL INCLUDING BUT NOT LIMITED TO ASBESTOS, SEPTIC FIELDS, LEAD, PCB, TPC, OR OTHER WASTE OR CONTAMINANT, IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLY WITH MANDATES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. CONTRACTORS SHALL COORDINATE WITH ALL UTILITY COMPANIES CONCERNING THE ABANDONMENT, RELOCATION AND/OR DEMOLITION OF UTILITIES PRIOR TO CONSTRUCTION. NO WORK IS TO BE PERFORMED ON LIVE LINES UNLESS APPROVED IN WRITING BY THE UTILITY IN ALL CASES. A REPRESENTATIVE FROM THE UTILITY SHALL BE PRESENT FOR INITIAL ABANDONMENT AND/OR LIVE CUTS. CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR UTILITIES AND SHALL PROTECT THEM AT ALL TIMES.
4. CONTRACTOR IS RESPONSIBLE FOR PROCUREMENT OF ALL NECESSARY PERMITS.
5. DEMOLITION SHALL INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, HAULING, PERMITTING, FEES, AND COORDINATION WITH PUBLIC AND/OR PRIVATE UTILITY REQUIRED TO REMOVE AND PROPERLY DISPOSE OF ANY ITEM NECESSARY TO PERFORM THE REQUIRED DEMOLITION AS INDICATED ON THE PLANS.
6. RELOCATION SHALL INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, HAULING, PERMITTING, FEES, AND COORDINATION WITH PUBLIC AND/OR PRIVATE UTILITY REQUIRED TO REMOVE, RELOCATE, AND INSTALL NEW ITEMS AS INDICATED ON THE PLANS.
7. ABANDONMENT SHALL INCLUDE ALL LABOR, EQUIPMENT, MATERIALS, PERMITTING, FEES, AND COORDINATION WITH PUBLIC AND/OR PRIVATE UTILITY REQUIRED TO ADEQUATELY ABANDON ITEMS AS INDICATED ON THE PLANS.
8. THE CONTRACTOR SHALL COORDINATE ALL TREE AND LANDSCAPE REMOVAL WITH THE LANDSCAPE PLANS. ANY DISCREPANCY BETWEEN THIS DEMOLITION PLAN AND THE LANDSCAPE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER IMMEDIATELY.
9. THE CONTRACTOR IS FULLY AND COMPLETELY RESPONSIBLE FOR LOCATION, VERIFICATION, PROTECTION, STORAGE, MAINTENANCE, DEMOLITION, REMOVAL, RELOCATION OR ALTERATION OF ALL EXISTING SITE UTILITIES, SITE IMPROVEMENTS, STRUCTURES, OR CONSTRUCTION ELEMENTS AS REQUIRED TO COMPLETE THE WORK THAT ARE SHOWN ON THE PLANS AND OR THAT ARE OBSERVABLE IN THE FIELD, WHETHER CONSPICUOUSLY VISIBLE OR NOT. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME THOROUGHLY FAMILIAR WITH ALL EXISTING IMPROVEMENTS, UTILITIES, AND SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
10. THIS DEMOLITION PLAN IS FOR GRAPHICAL REFERENCE ONLY. ITEMS NOT DEPICTED ON THESE PLANS MAY BE REQUIRED TO BE PROTECTED, REMOVED, OR RELOCATED. THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE LOCATIONS OF ALL EXISTING STRUCTURES, UTILITIES, AND APPURTENANCES WITHIN THE LIMITS OF CONSTRUCTION. DEMOLITION INCLUDES BUT IS NOT LIMITED TO THE ITEMS SHOWN ON THIS PLAN.
11. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING NEAR ANY EXISTING UNDERGROUND OR OVERHEAD UTILITIES.
12. SAWCUT DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTOR SHALL FIELD STAKE AND CONSULT ENGINEER TO VERIFY PRIOR TO CONSTRUCTION.

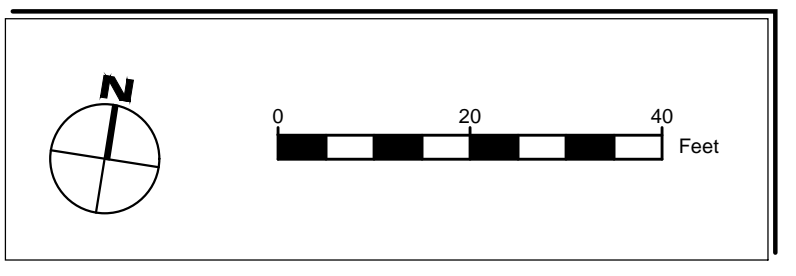
CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

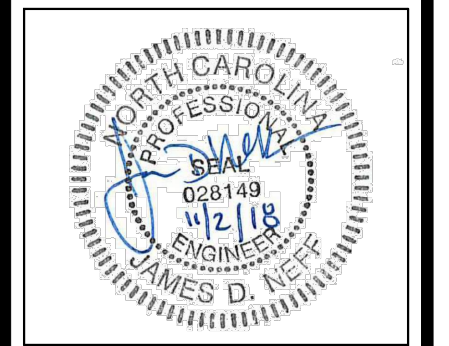
24-HOUR CONTACT:
CLAY WORTHY
602-931-6540



NO CONSERVATION RESOURCES OR RARE/ENDANGERED SPECIES ARE ASSOCIATED WITH THE THE SITE IN ACCORDANCE WITH THE NORTH CAROLINA WILDLIFE RESOURCES COMMISSION.



14491 N DALE HENRY HWY
SUITE 250
TAMPA, FL 33618
813.367.0084
WWW.INGENIUMENTERPRISES.COM



PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSEMead, CALIFORNIA 91770
PHONE: 626-799-9898

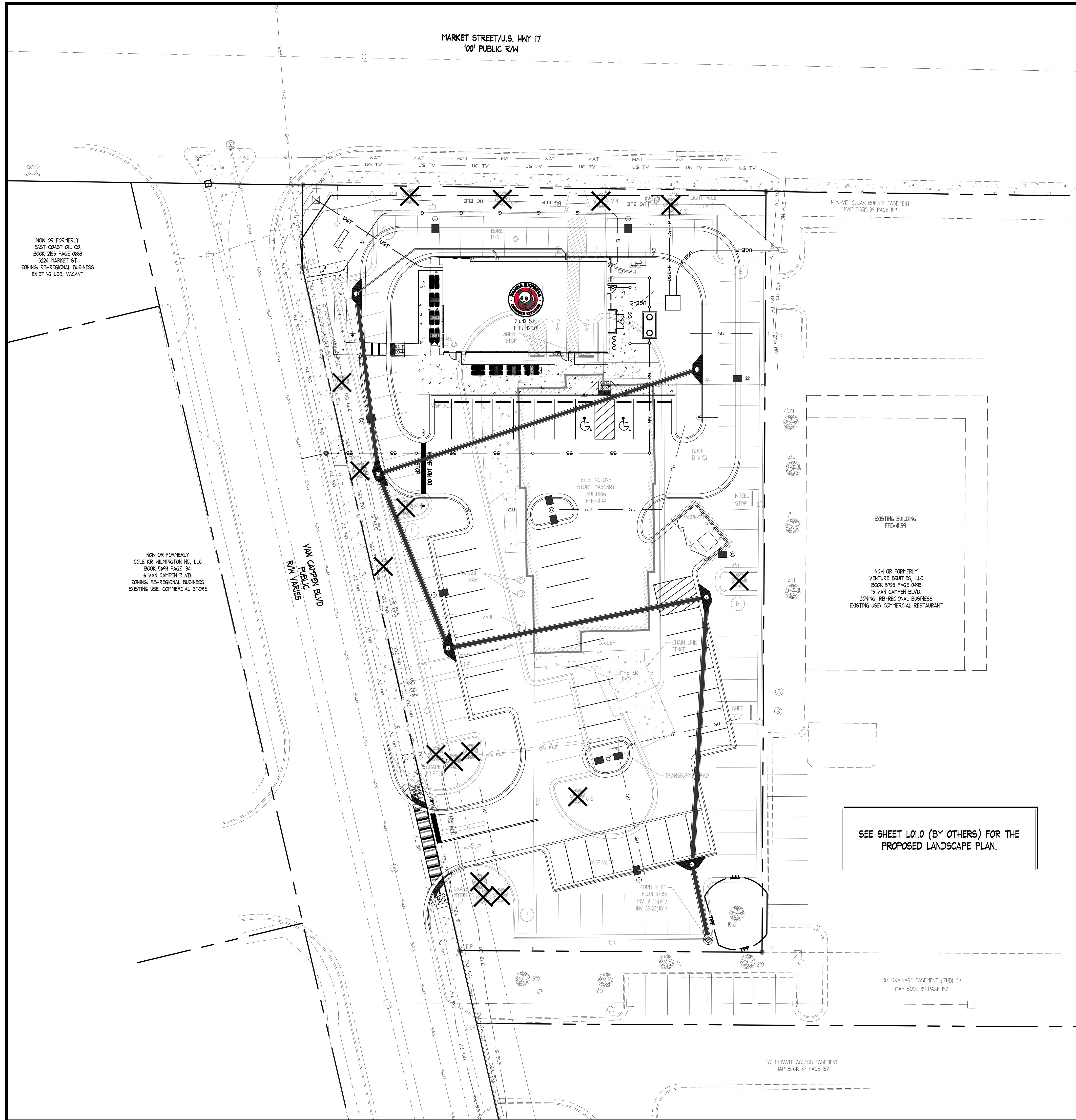
NO.	DESCRIPTION	DATE

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE, WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE SOLE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL DESIGN REPRESENTED HEREIN BY THIS INFORMATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.

PROJ # 180058
DWG NAME 180058_CO2.DWG
ISSUE DATE 11/02/2018
PROJ TGR, LLC

DEMOLITION PLAN
CO2.1
SHEET NUMBER

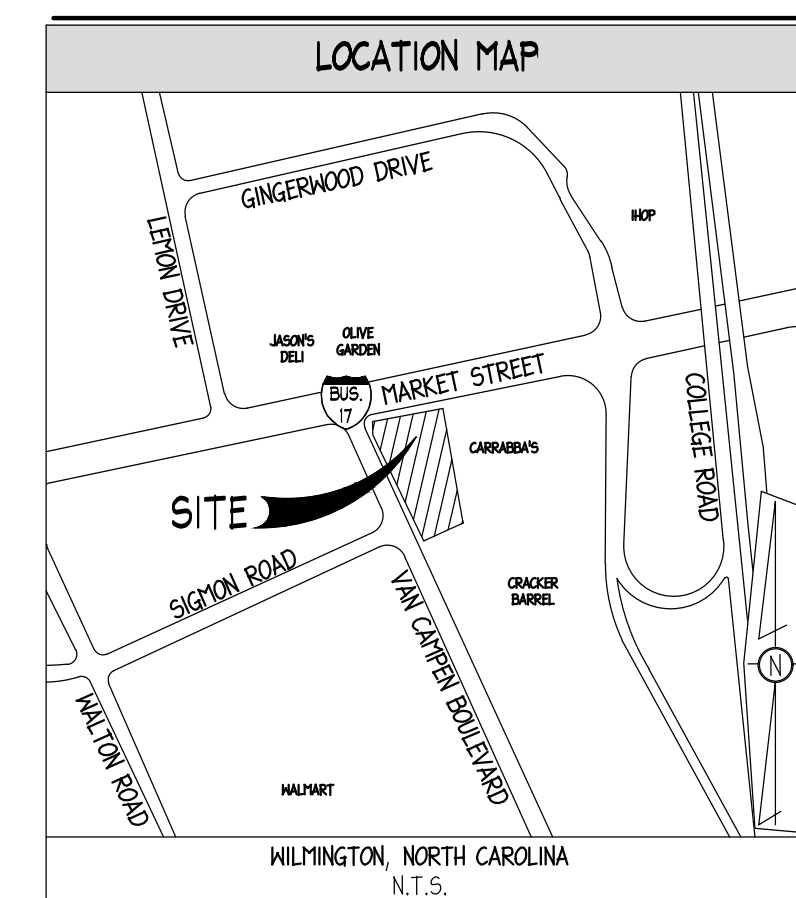
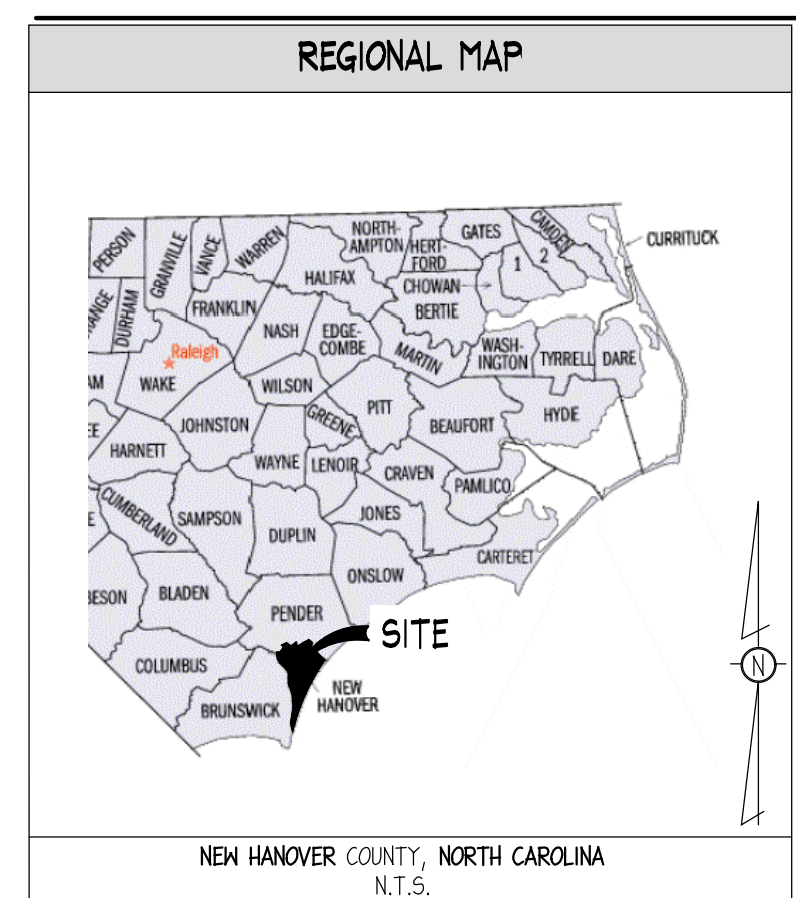
ISSUE FOR PERMIT



NON OR FORMERLY
EAST COAST OIL CO.
BOOK 235 PAGE 0688
5224 MARKET ST
ZONING: RB-REGIONAL BUSINESS
EXISTING USE: VACANT

NON OR FORMERLY
COLE KR WILMINGTON, INC., LLC
BOOK 5699 PAGE 0341
6 VAN CAMPEN BLVD.
ZONING: RB-REGIONAL BUSINESS
EXISTING USE: COMMERCIAL STORE

SEE SHEET L01.0 (BY OTHERS) FOR THE
PROPOSED LANDSCAPE PLAN.



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813.367.0084
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PANDA EXPRESS, INC.
STORE NUMBER: #####
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11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSEMead, CALIFORNIA 91770
PHONE: 626-799-9898

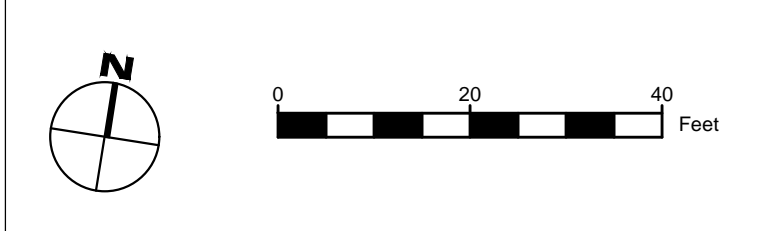
CONTRACTOR SHALL PROTECT ALL ITEMS
OUTSIDE LIMITS OF CONSTRUCTION UNLESS
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CONTRACTOR SHALL FIELD VERIFY ALL EXISTING
UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO
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ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
CLAY WORTHY
602-931-6540



NO CONSERVATION RESOURCES OR
RARE/ENDANGERED SPECIES ARE ASSOCIATED
WITH THE THE SITE IN ACCORDANCE WITH THE
NORTH CAROLINA WILDLIFE RESOURCES
COMMISSION.



REVISION HISTORY

NO.	DATE	DESCRIPTION
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THE CIVIL ENGINEER REGULARLY UPDATES
ELECTRONIC FILES DURING THE DEVELOPMENT OF A
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CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE
DATE, NOT NECESSARILY REFLECT THE COMPLETE
SCOPE OR CONTENT AS DEFINED IN THE CONTRACT.
THE CONTENTS IN THESE FILES MAY THEREFORE BE
PRELIMINARY, INCOMPLETE, WORK IN PROGRESS, AND
SUBJECT TO CHANGE. FURTHERMORE, THE
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ANY MANNER WITHOUT THE EXPRESSED WRITTEN
CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE
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SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF
THE CIVIL ENGINEER IS PROHIBITED.

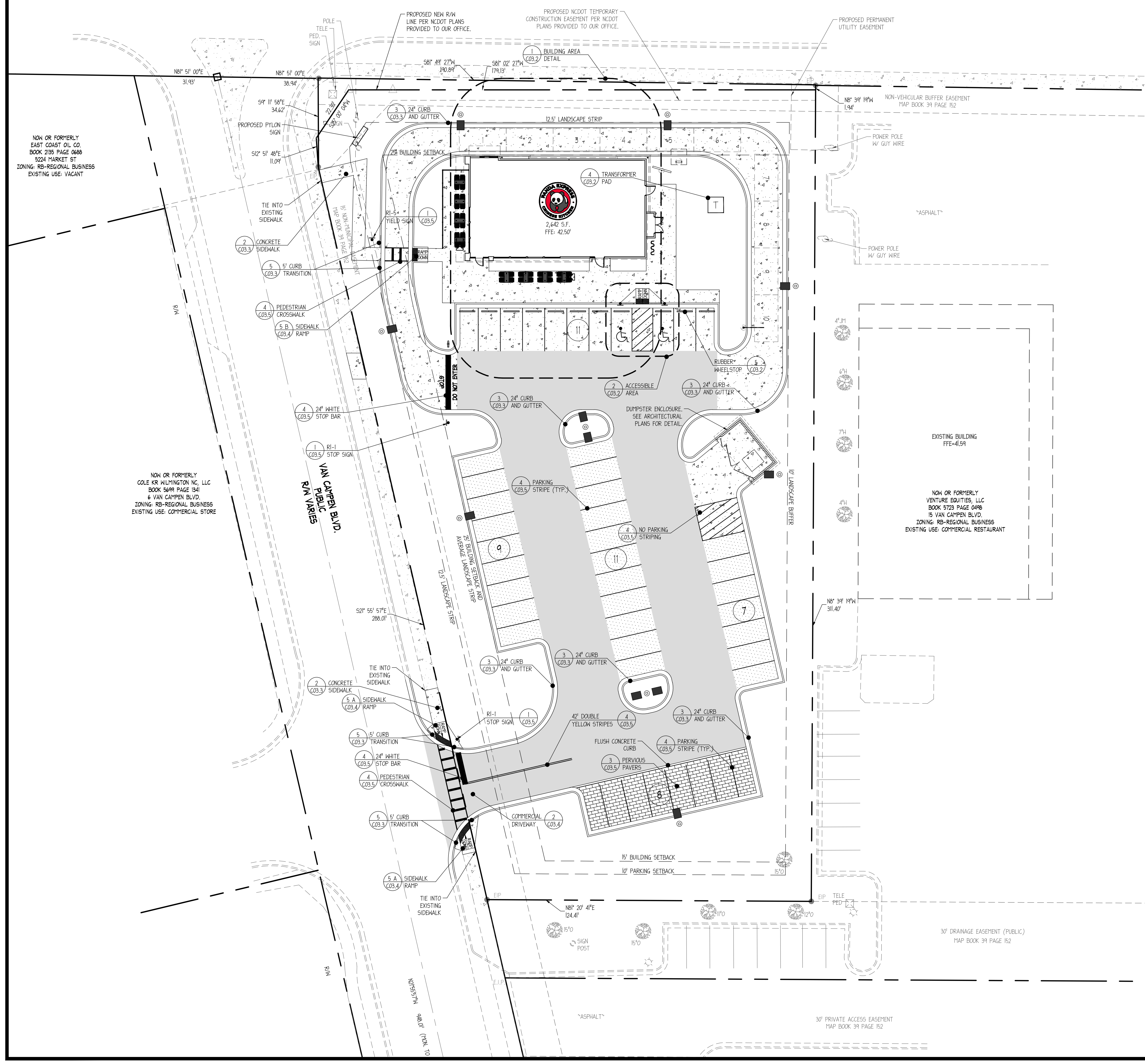
PROJ # 180058
DWG NAME 180058 CO2.DWG
ISSUE DATE 11/02/2018
PROJ TGR, LLC

TREE REMOVAL PLAN

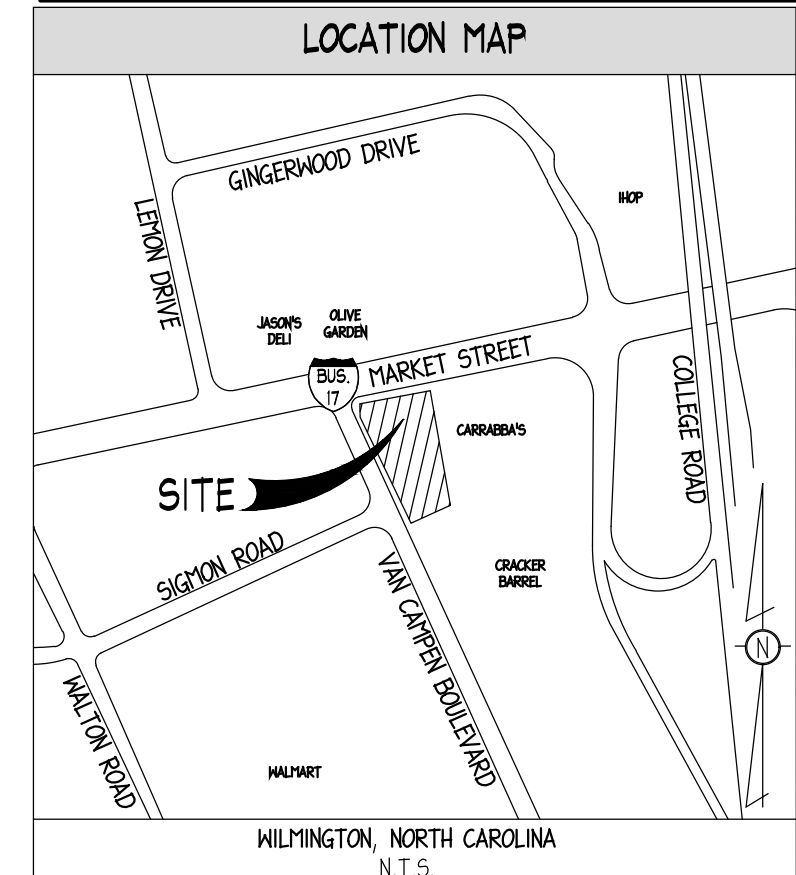
CO2.2
SHEET NUMBER

ISSUE FOR PERMIT

MARKET STREET/U.S. HWY 17
100' PUBLIC R/W



- ### PAVING LEGEND
- HEAVY DUTY PAVEMENT SECTION:**
DETAIL 4A, SHEET C03.3
 - LIGHT DUTY PAVEMENT SECTION:**
DETAIL 4B, SHEET C03.3
 - CONCRETE SECTIONS:**
SIDEWALK: DETAIL 2, SHEET C03.3
DRIVE-THRU: DETAIL 1, TYPE A, SHEET C03.3
PARKING: DETAIL 1, TYPE A, SHEET C03.3
DUMPSTER APPROACH PAD: DETAIL 1, TYPE B, SHEET C03.3
 - PERVIOUS PAVERS SECTION:**
DETAIL 3, SHEET C03.5



- ### SITE NOTES
1. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL EXISTING IMPROVEMENTS AND TREES AND OTHER DEBRIS WITHIN THE LIMITS OF THE WORK FROM THE SITE. ON SITE BURIAL OF TREES AND OTHER DEBRIS WILL NOT BE ALLOWED. THERE ARE NO KNOWN INERT BURY PITS ON THE SITE AND NONE WILL BE ALLOWED DURING CONSTRUCTION OF THE PROJECT.
 2. ALL WORK SHALL COMPLY WITH WILMINGTON/NEIGH HANOVER COUNTY, STATE OF NORTH CAROLINA, AND FEDERAL CODES AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER.
 3. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER, AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
 4. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER PRIOR TO USE.
 5. ALL WORK PERFORMED ON CITY, COUNTY, AND/OR STATE OR FEDERAL RIGHT-OF-WAY SHALL BE IN STRICT CONFORMANCE WITH APPLICABLE STANDARDS AND SPECIFICATIONS OF THE APPROPRIATE GOVERNING AGENCIES.
 6. BASE COURSE MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO "STATE OF NORTH CAROLINA" TRANSPORTATION STANDARD SPECIFICATIONS", CURRENT EDITION.
 7. ALL BUILDING DIMENSIONS SHALL BE CHECKED AND COORDINATED WITH THE ARCHITECTURAL PLANS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 8. PHOTO METRICS DESIGNED BY OTHERS, POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY FINAL LOCATION OF POLES WITH PHOTO METRIC PLAN AND OWNER PRIOR TO CONSTRUCTION.
 9. SEE SHEET C01 FOR GENERAL NOTES.

SITE INFORMATION

JURISDICTION: WILMINGTON, NORTH CAROLINA
NEW HANOVER COUNTY

ZONING: RB (REGIONAL BUSINESS)
SITE IS IN NO OVERLAY DISTRICTS.

PARCEL ID#: R0496-001-027-000

CAMA LAND USE CLASSIFICATION: URBAN

REQUIRED BUILDING SETBACKS:
FRONT: 25' (BOTH MARKET AND VAN CAMPEN ARE FRONTS)
SIDE: 0'
REAR: 15'

PROPOSED BUILDING SETBACKS:
FRONT (MARKET): 25.5'
FRONT (VAN CAMPEN): 46.5'
SIDE: 44.5'
REAR: 246.5'

REQUIRED PARKING:
MINIMUM: 1 PER 4 SEATS OR 1 PER 80 SF GFA EXCLUSIVE OF KITCHEN AND RESTROOM FACILITIES.
BASED ON SEATS: 98 SEATS / 4 SEATS = 25 SPACES
BASED ON SF: 2,600 SF / 80 SF = 33 SPACES

MAXIMUM: 1 SPACE PER 2.5 SEATS OR 1 PER 65 SF GFA EXCLUSIVE OF KITCHEN AND RESTROOM FACILITIES.
BASED ON SEATS: 98 SEATS / 2.5 SEATS = 39 SPACES
BASED ON SF: 2,600 SF / 65 SF = 40 SPACES

PROPOSED PARKING:
8.5' X 18' (REGULAR) = 44
8.5' X 22' (L.C.) = 2
TOTAL = 46

DRIVE AISLE: 24'

SITE AREA CALCULATIONS:
SITE: 41.5 AC.
PROPOSED PERVIOUS AREA: 10.44 AC. 3%

- ### BUILDING AREA NOTES
1. MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION. I.E. IN TIMES OF RAIN OR FLOOD, ROADS SHALL BE PASSABLE TO EMERGENCY VEHICLES BY BEING PAVED OR HAVING A CRUSHED STONE BASE ETC., WITH A MINIMUM WIDTH OF 20 FEET. THE ACCESS TO BUILDINGS HAVING SPRINKLER OR STANDPIPE SYSTEMS SHALL BE TO WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (NFPA I41 3-1).
 2. CONTRACTOR TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING IN ALL AREAS AROUND BUILDING. INSTALL FRENCH DRAIN IN LANDSCAPED AREAS ADJACENT TO BUILDING AND CONNECT TO DRAINAGE SYSTEM.
 3. SEE SHEET C01 FOR GENERAL NOTES.

CITY OF WILMINGTON NOTES

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
3. CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
4. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
5. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
6. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
7. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
8. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
9. ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
10. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
11. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
12. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-432-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.
13. THE EXISTING DRIVEWAY WILL BE CLOSED DURING CONSTRUCTION BUT REOPENED AFTER CONSTRUCTION.

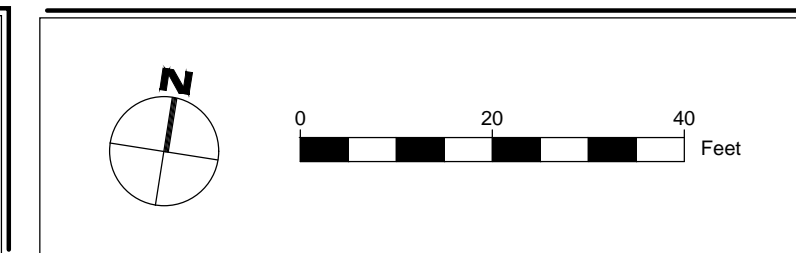
- ### CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.
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- CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
CLAY WORTHY
602-931-6540

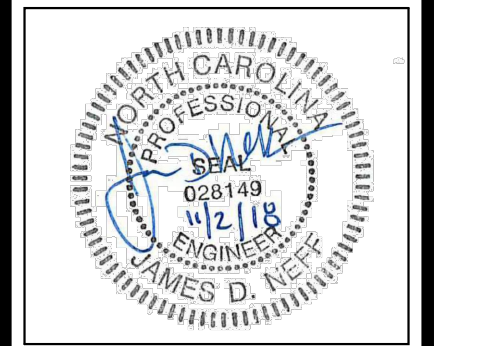
REVISION HISTORY

NO.	DATE	DESCRIPTION
1	11/02/2018	ISSUE FOR PERMIT



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14491 N DALE HENRY HWY
SUITE 250
TAMPA, FL 33618
813.367.0084
INGENIUM@INGENIUMTEAM.COM



PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSEMAD, CALIFORNIA 91770
PHONE: 626-799-9898

REVISION HISTORY

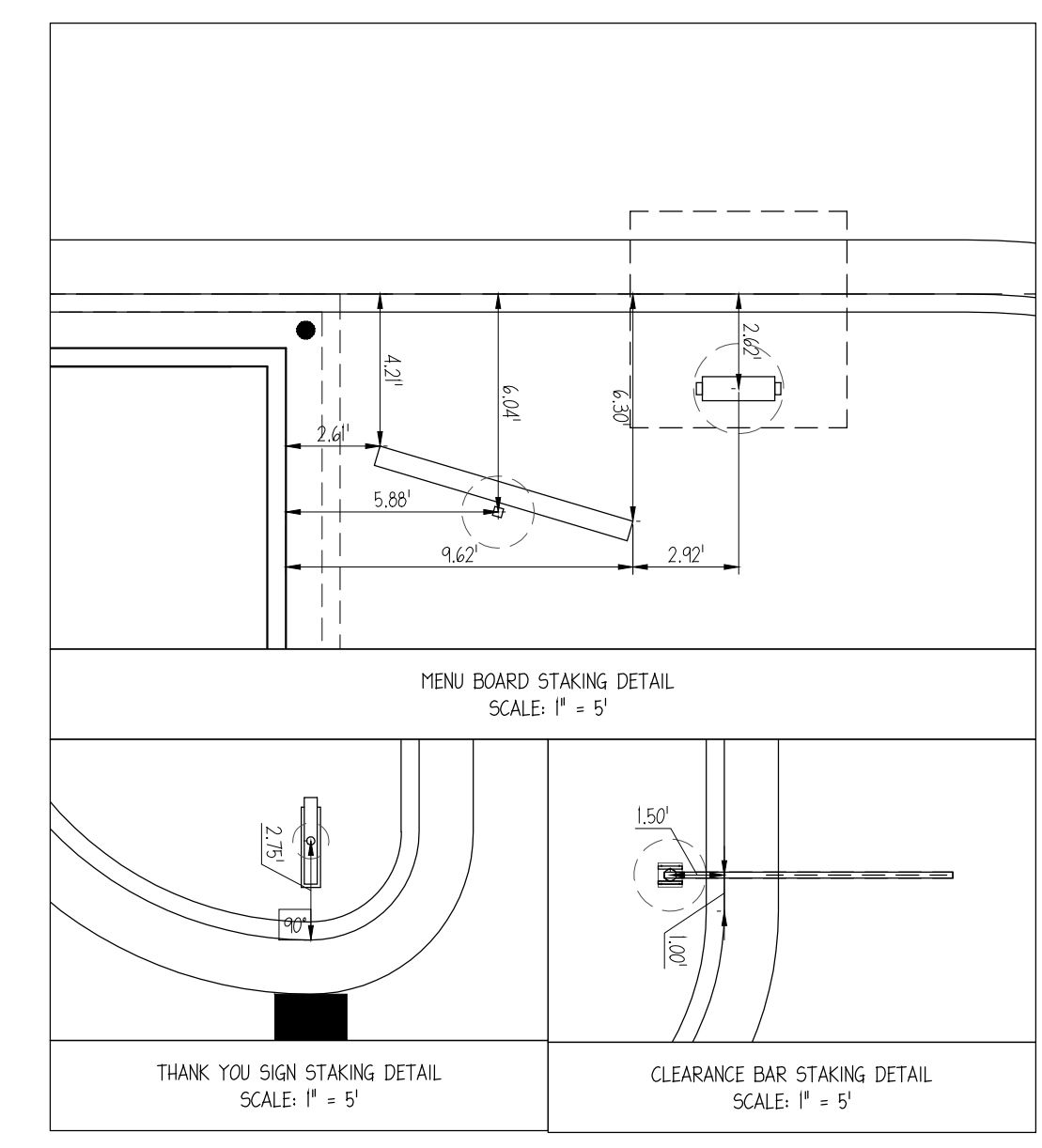
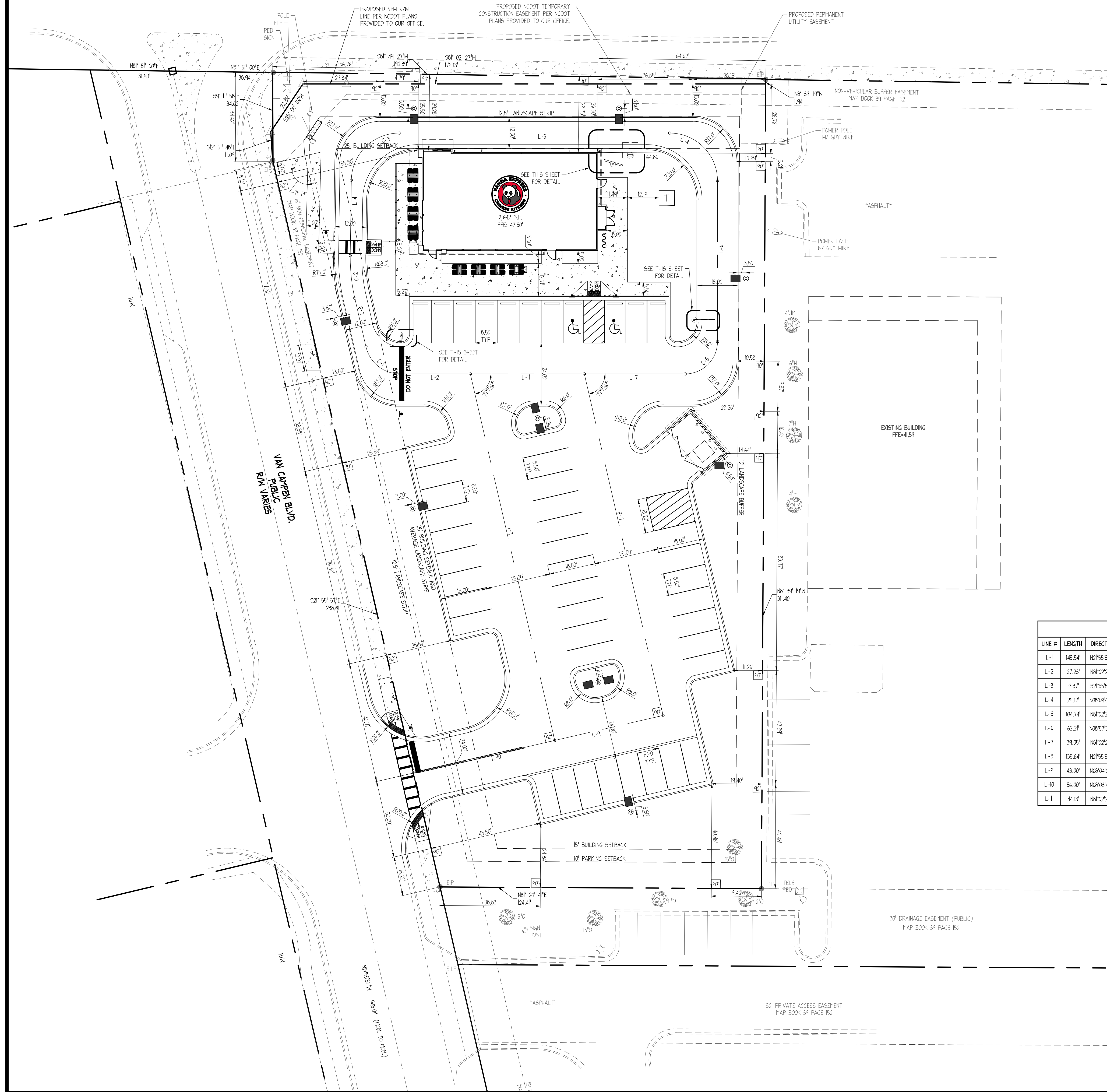
NO.	DATE	DESCRIPTION
1	11/02/2018	ISSUE FOR PERMIT

PROJ # 180558
DWG NAME 180558_C03.DWG
ISSUE DATE 11/02/2018
PROJ TGR, LLC

SITE PLAN
C03.0
SHEET NUMBER

ISSUE FOR PERMIT

MARKET STREET/U.S. HWY 17
100' PUBLIC R/W



STAKING NOTES

1. ALL RADII ARE 3.0' UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS PERTAINING TO LIGHT POLES ARE MEASURED FROM THE CENTER OF THE POLE TO THE FACE OF CURB.
4. SEE SHEET 001 FOR GENERAL NOTES.

CITY OF WILMINGTON NOTES

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
2. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
3. CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
4. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
5. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
6. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
7. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
8. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
9. ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
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11. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
12. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.
13. THE EXISTING DRIVEWAY WILL BE CLOSED DURING CONSTRUCTION BUT REOPENED AFTER CONSTRUCTION.

LINE TABLE				
LINE #	LENGTH	DIRECTION	START POINT	END POINT
L-1	146.54'	N21°55'57"W	10730.87, 11946.37	10676.50, 12093.38
L-2	27.23'	N81°02'27"E	10649.61, 12027.14	10676.50, 12093.38
L-3	19.37'	S21°55'57"E	10627.75, 12053.39	10634.99, 12095.43
L-4	29.17'	N08°09'00"W	10623.45, 12049.38	10619.32, 12096.26
L-5	104.74'	N81°02'27"E	10634.75, 12119.16	10738.22, 12356.47
L-6	62.21'	N08°57'33"W	10749.04, 12056.62	10759.37, 12102.07
L-7	39.05'	N81°02'27"E	10720.09, 12038.25	10756.66, 12044.33
L-8	135.64'	N21°55'57"W	10770.75, 11942.43	10720.09, 12038.25
L-9	43.00'	N68°04'03"E	10730.87, 11946.37	10770.75, 11942.43
L-10	56.00'	N68°03'48"E	10678.92, 11875.45	10730.87, 11946.37
L-11	44.13'	N81°02'27"E	10676.50, 12093.38	10720.09, 12038.25

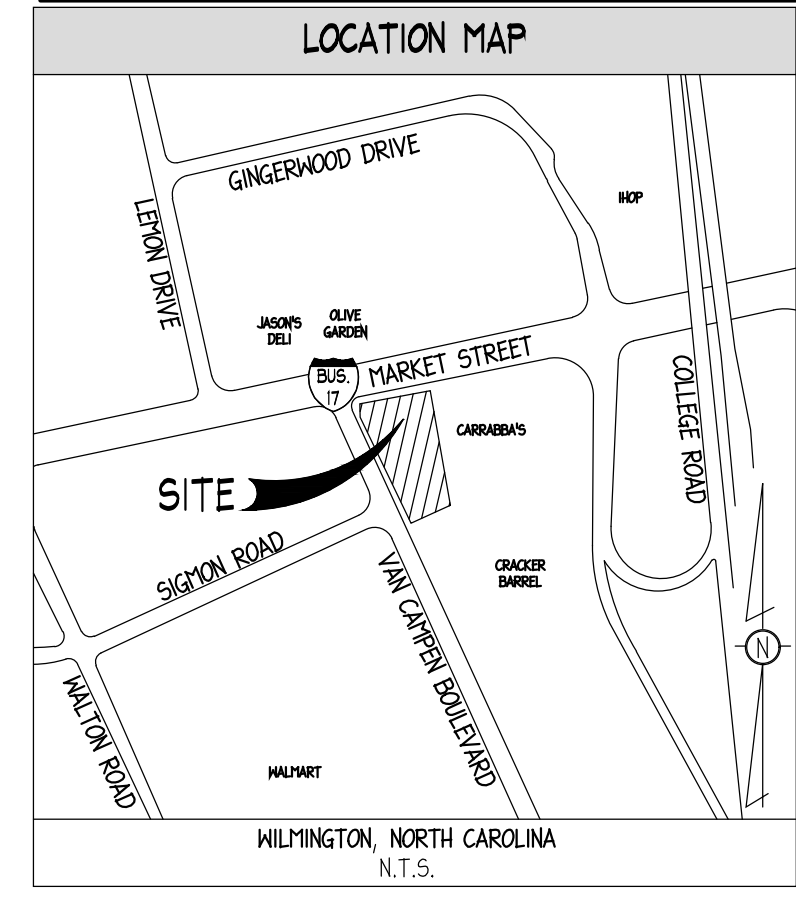
CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C-1	18.15'	13.50'	77.0267°	16.81'	S46°26'45"E
C-2	16.60'	69.00'	13.7825°	16.56'	S15°02'28"E
C-3	28.80'	18.50'	89.1908°	25.98'	S36°26'43"W
C-4	29.04'	18.50'	90.0000°	26.14'	N53°57'53"W
C-5	14.63'	12.50'	90.0000°	17.68'	N86°02'27"E

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SITE INFORMATION

JURISDICTION: WILMINGTON, NORTH CAROLINA
NEW HANOVER COUNTY

ZONING: RB (REGIONAL BUSINESS)
SITE IS IN NO OVERLAY DISTRICTS.

PARCEL ID#: R0496-001-027-000

CAPLA LAND USE CLASSIFICATION: URBAN

REQUIRED BUILDING SETBACKS:
FRONT: 25' (BOTH MARKET AND VAN CAMPEN ARE FRONTS)
SIDE: 0'
REAR: 15'

PROPOSED BUILDING SETBACKS:
FRONT (MARKET): 25.5'
FRONT (VAN CAMPEN): 46.5'
SIDE: 64.5'
REAR: 246.5'

PROPOSED PARKING:
MINIMUM: 1 PER 4 SEATS OR 1 PER 80 SF GFA EXCLUSIVE OF KITCHEN AND RESTROOM FACILITIES
BASED ON SEATS: 98 SEATS / 4 SEATS = 25 SPACES
BASED ON SF: 2,600 SF / 80 SF = 33 SPACES

MAXIMUM: 1 SPACE PER 2.5 SEATS OR 1 PER 65 SF GFA EXCLUSIVE OF KITCHEN AND RESTROOM FACILITIES.
BASED ON SEATS: 98 SEATS / 2.5 SEATS = 39 SPACES
BASED ON SF: 2,600 SF / 65 SF = 40 SPACES

PROPOSED PARKING:
8.5' X 18' (REGULAR) = 44
6' X 12' (L.C.) = 2
TOTAL = 46

DRIVE AISLE: 24'

SITE AREA CALCULATIONS:
SITE: 41.3 AC.
PROPOSED PERVIOUS AREA: 10.44 AC. 3%

EXISTING PERVIOUS AREA: 10.25 AC. 22%

PROPOSED IMPERVIOUS AREA: 10.69 AC. 6%

EXISTING IMPERVIOUS AREA: 10.41 AC. 78%

DISTURBED AREA: 11.14 AC.

EXISTING BUILDING: 5,655 SF AND 0.11 FAR

PROPOSED BUILDING: 2,549 SF AND 0.05 FAR
NUMBER OF UNITS: N/A
NUMBER OF BUILDINGS: 1
PROPOSED BUILDING HEIGHT: 23'-6"
PROPOSED BUILDING STORIES: 4

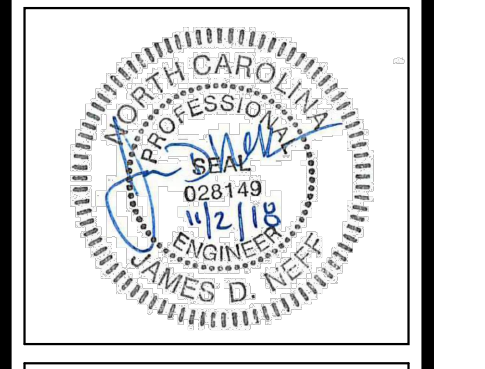
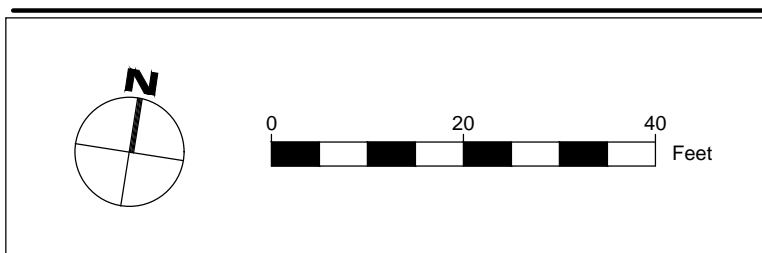
FLOOD HAZARD:
NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.P.M. MAP NO. 37203(A000), DATED 04/09/2006.

EXISTING INFORMATION:
PROVIDED BY MICHAEL UNDERWOOD AND ASSOCIATES, PA, DATED OCTOBER, 2018 (SEE SHEET 002.0), AND AS-BUILT DATED 06/05/00 BY THE REA GROUP, INC. PROVIDED BY THE CAPE FEAR PUBLIC UTILITY AUTHORITY ON 10/18/18.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

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24-HOUR CONTACT:
CLAY WORTHY
602-931-6540



PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:
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1683 HAZLUT GROVE AVENUE
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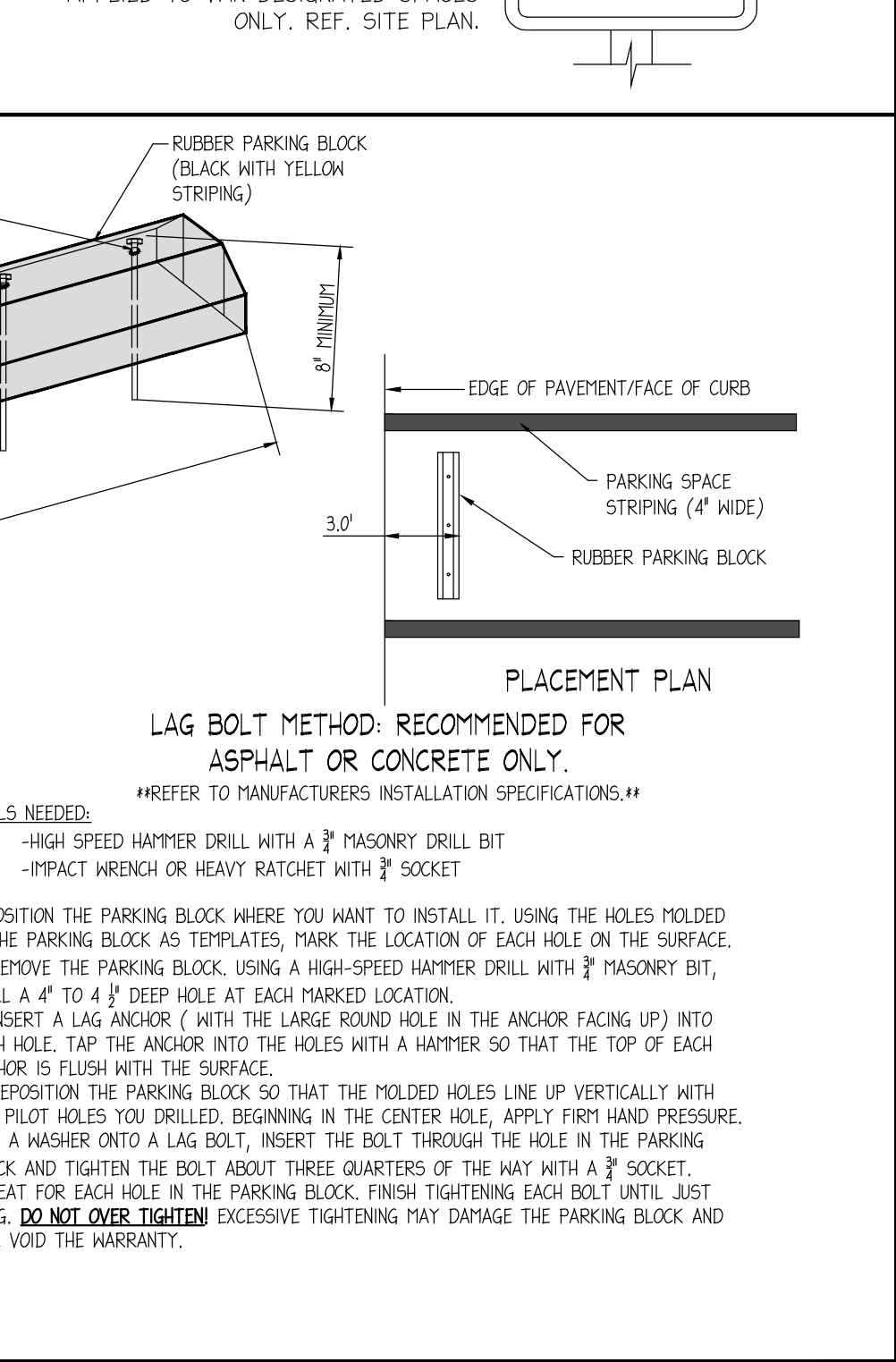
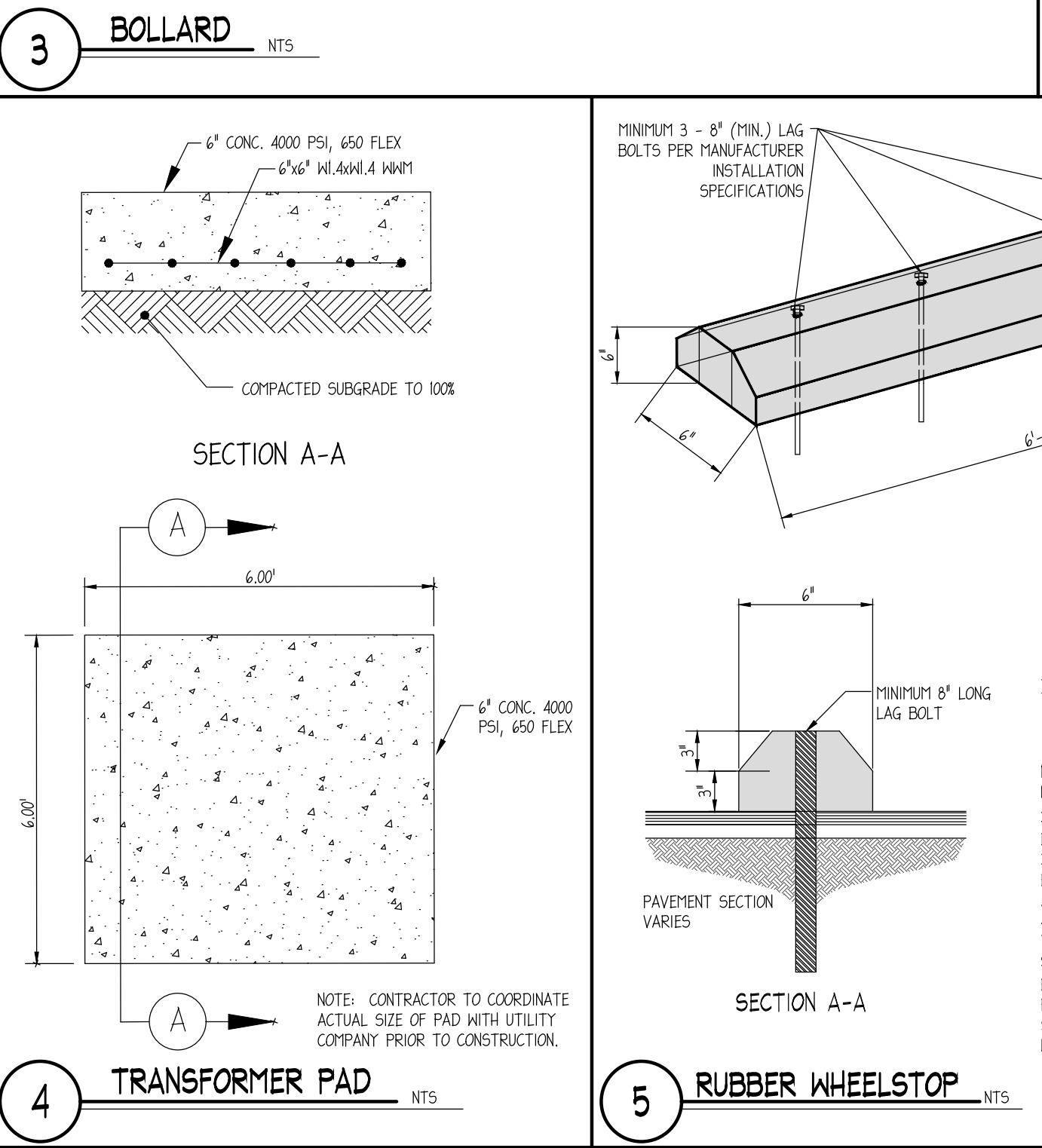
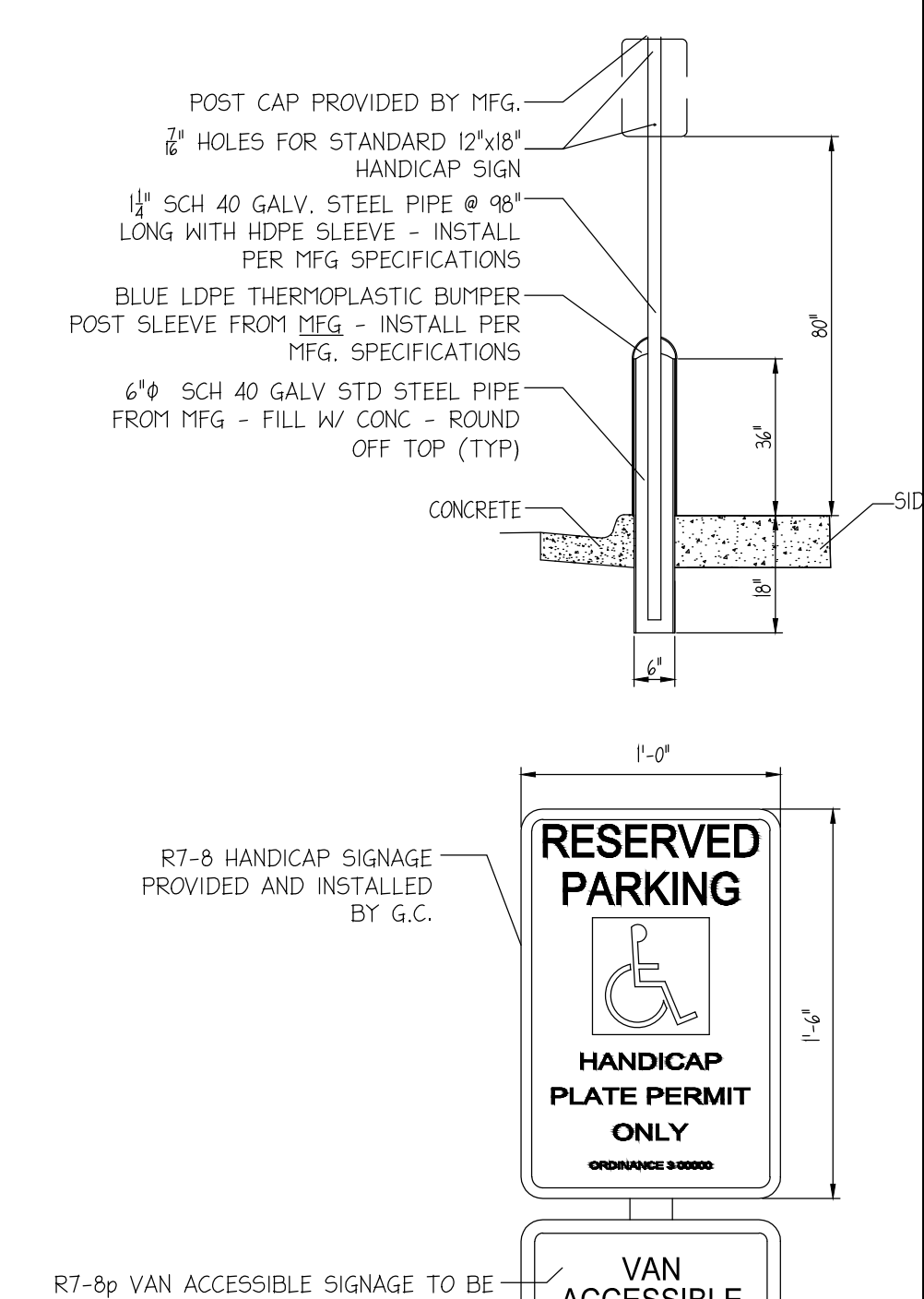
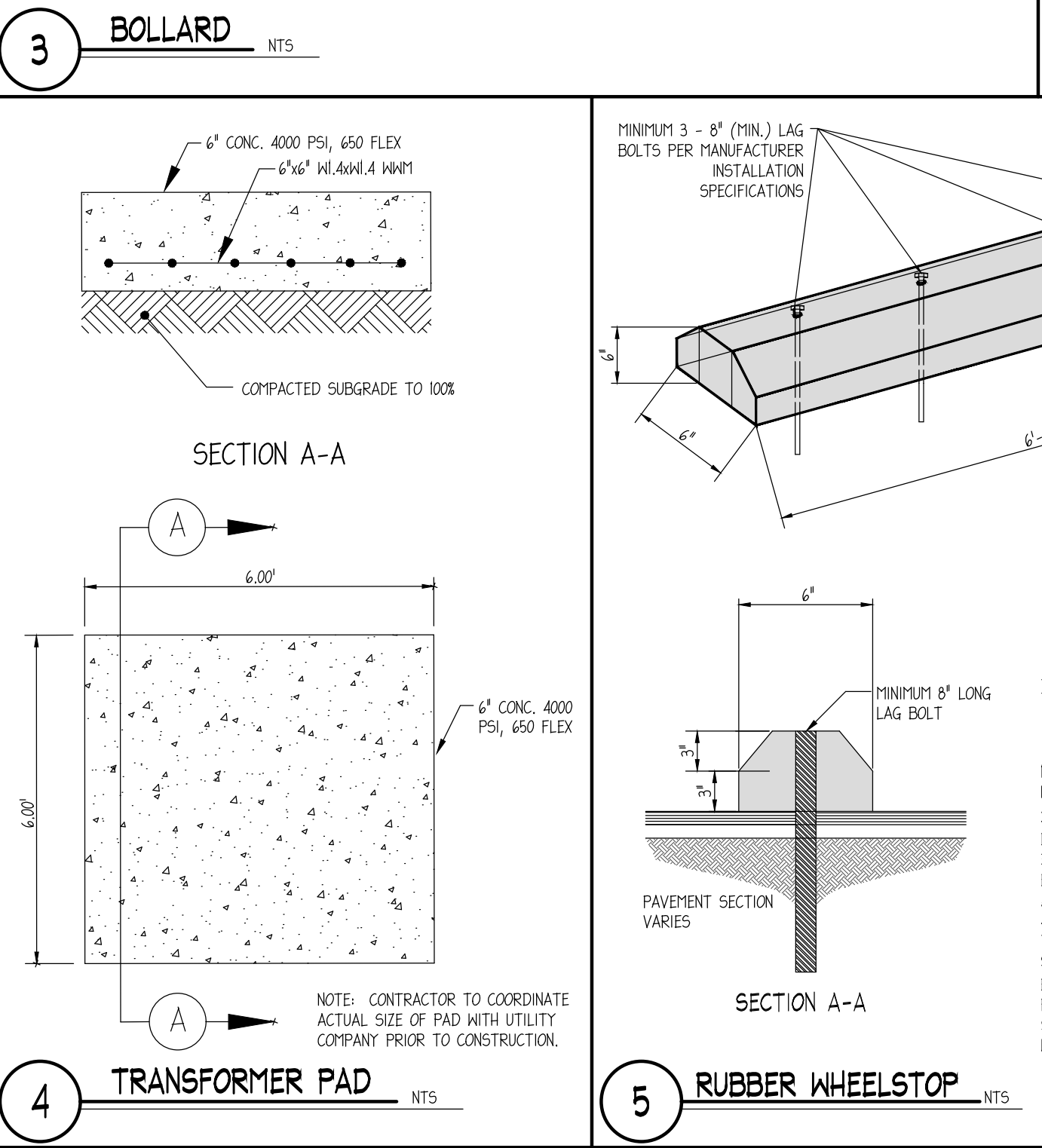
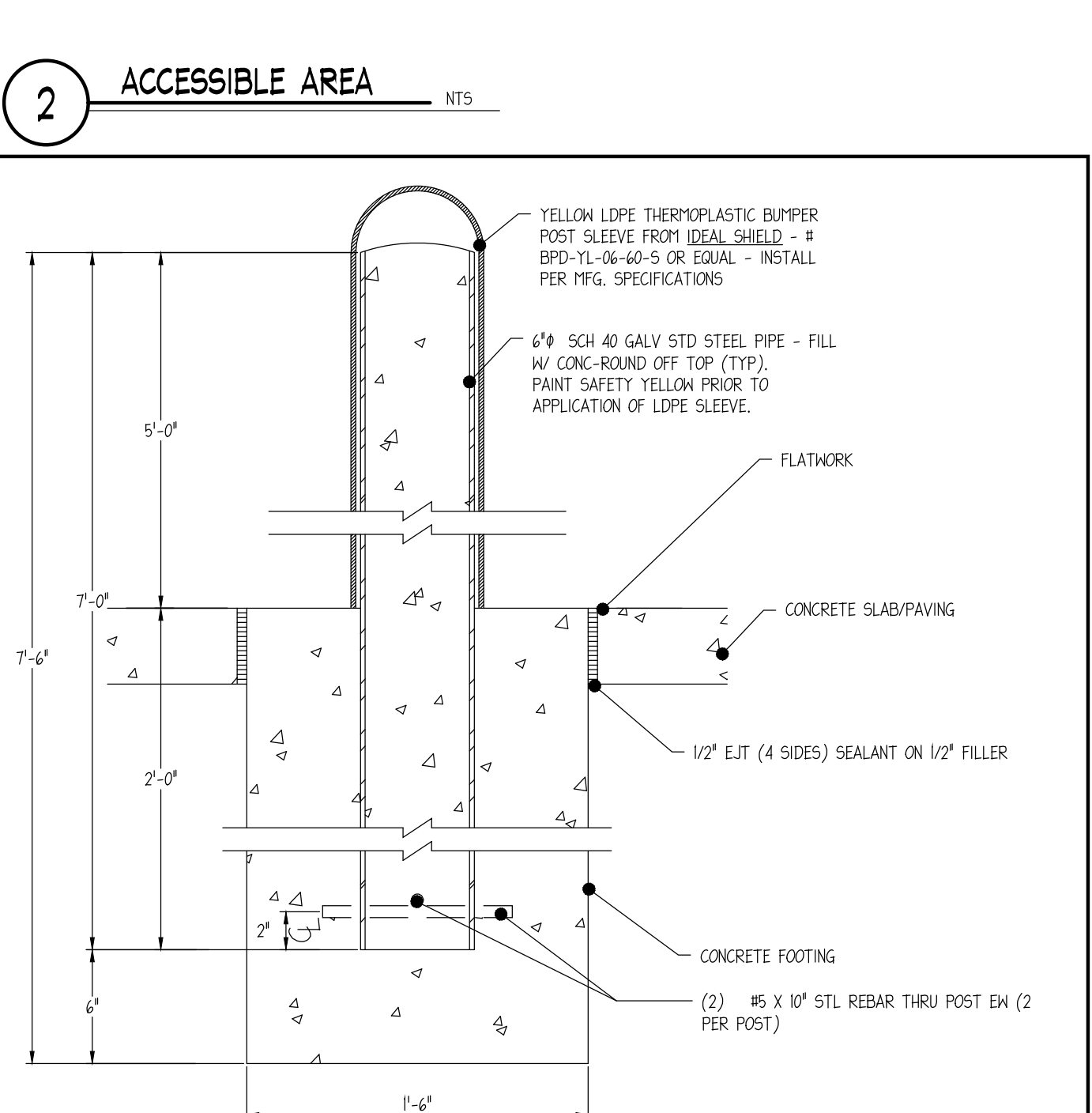
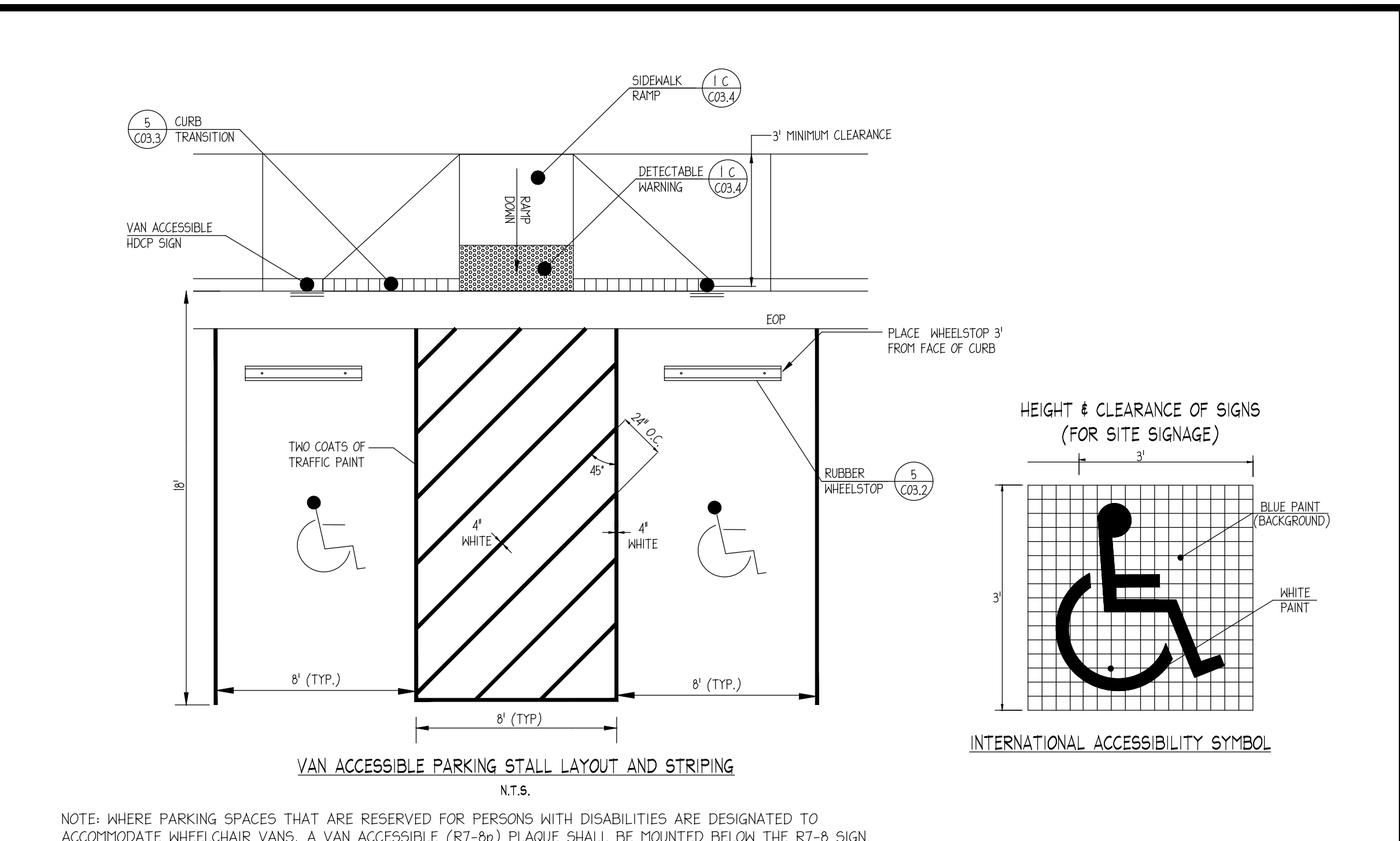
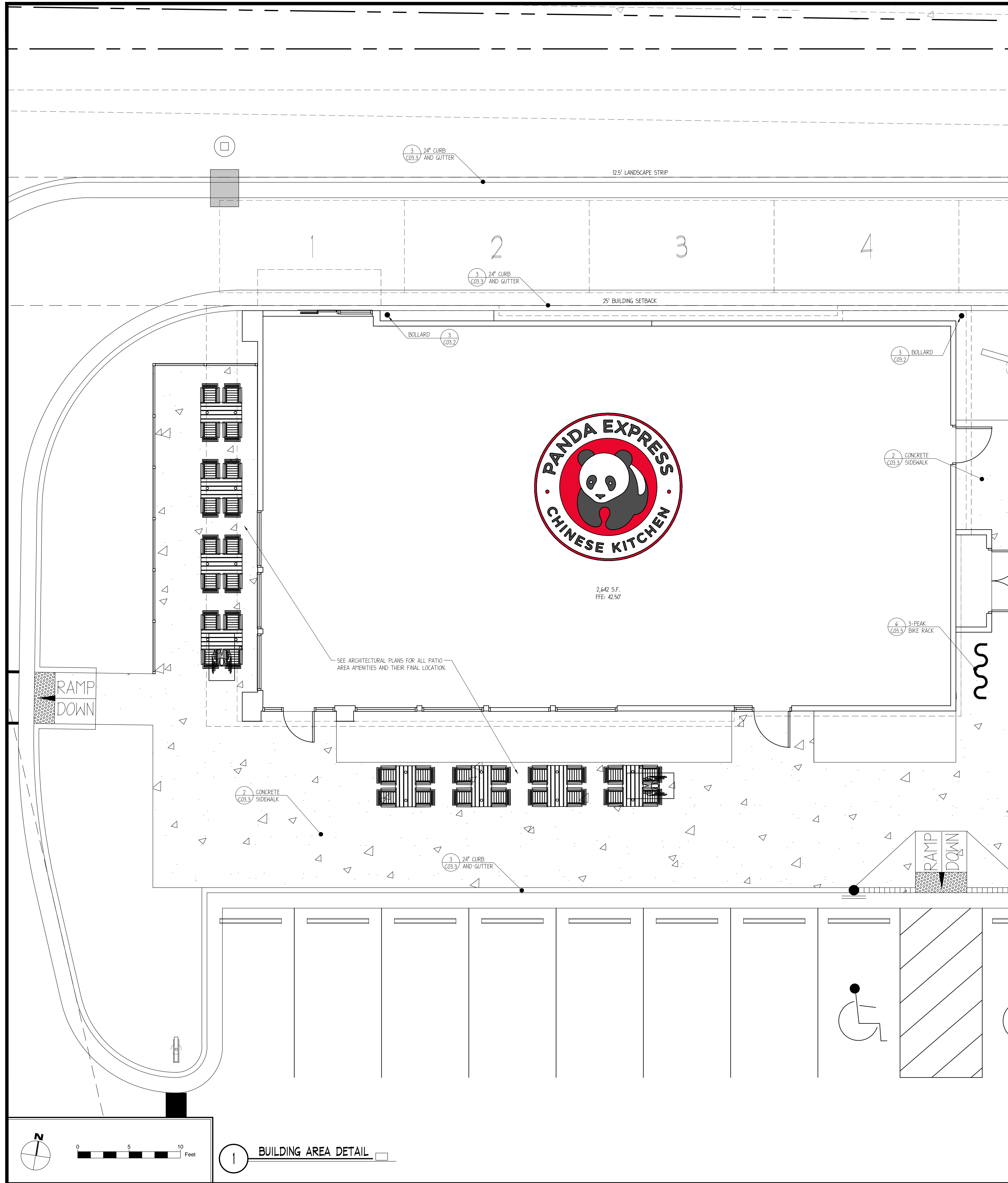
REVISION HISTORY	
1	ISSUE FOR PERMIT

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE COMPLETE SCORE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE, WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL IDEAS REPRESENTED HERE BY THIS INFORMATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS AND USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.

PROJ # 180058
DWG NAME 180058_C03.DWG
ISSUE DATE 11/02/2018
PROJ TGR, LLC

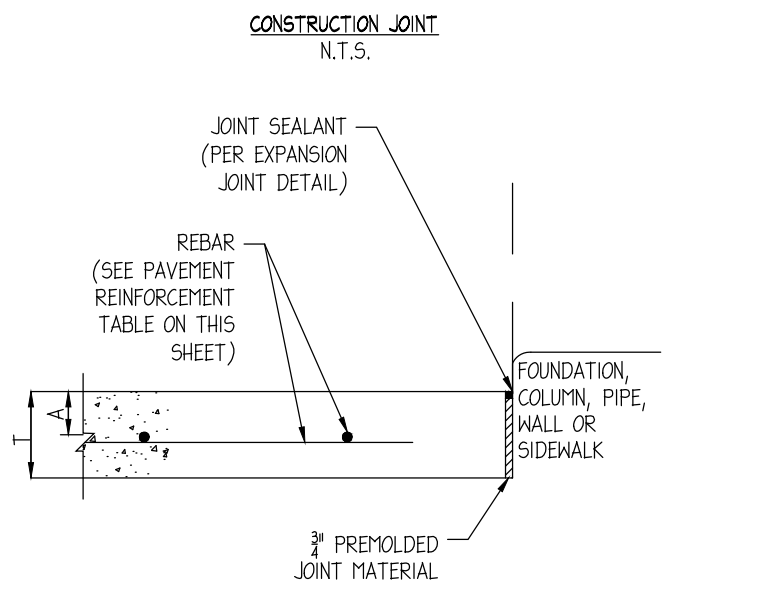
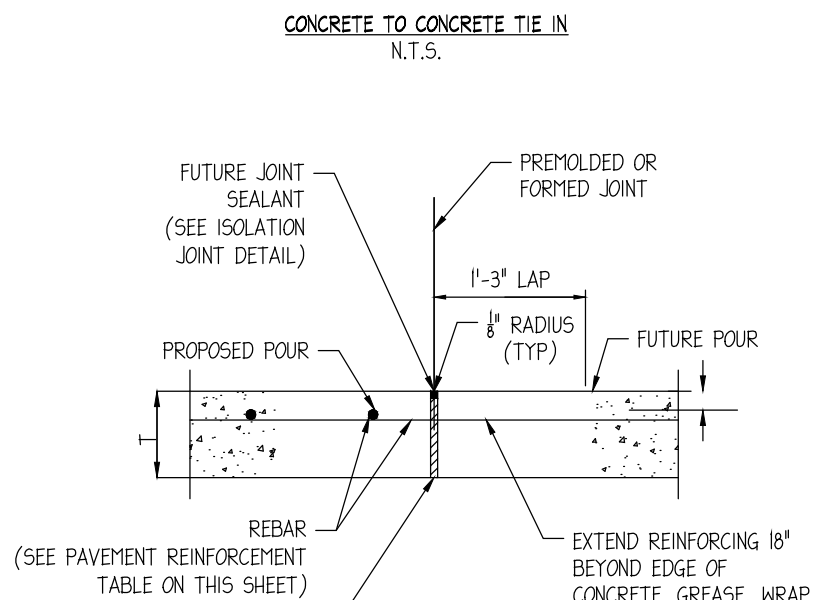
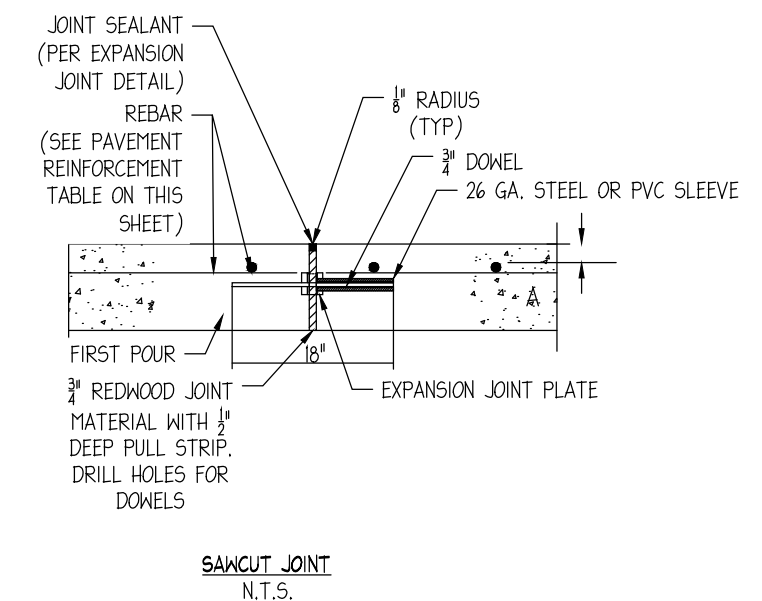
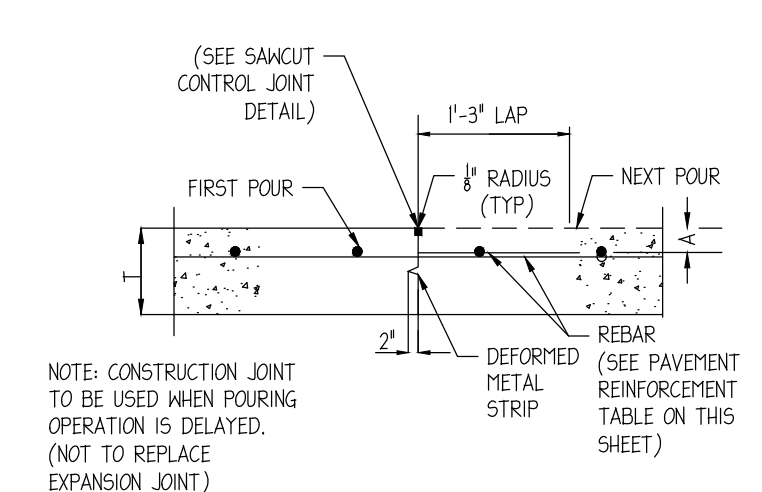
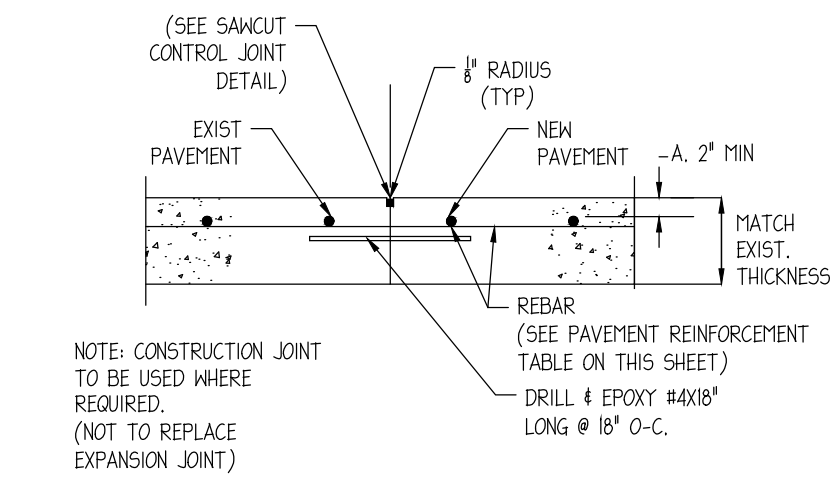
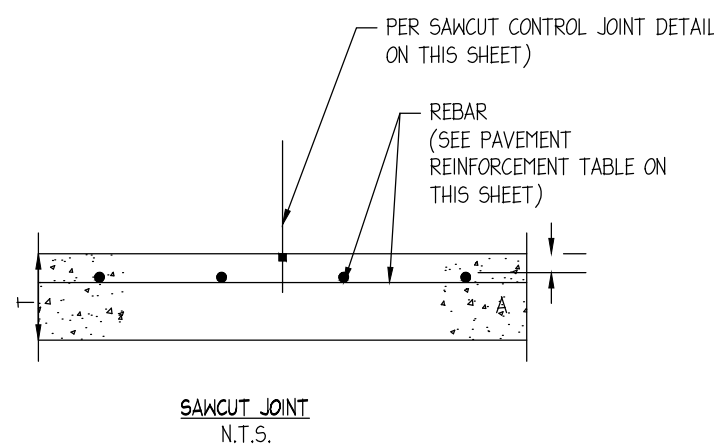
STAKING PLAN
C03.1
SHEET NUMBER

ISSUE FOR PERMIT



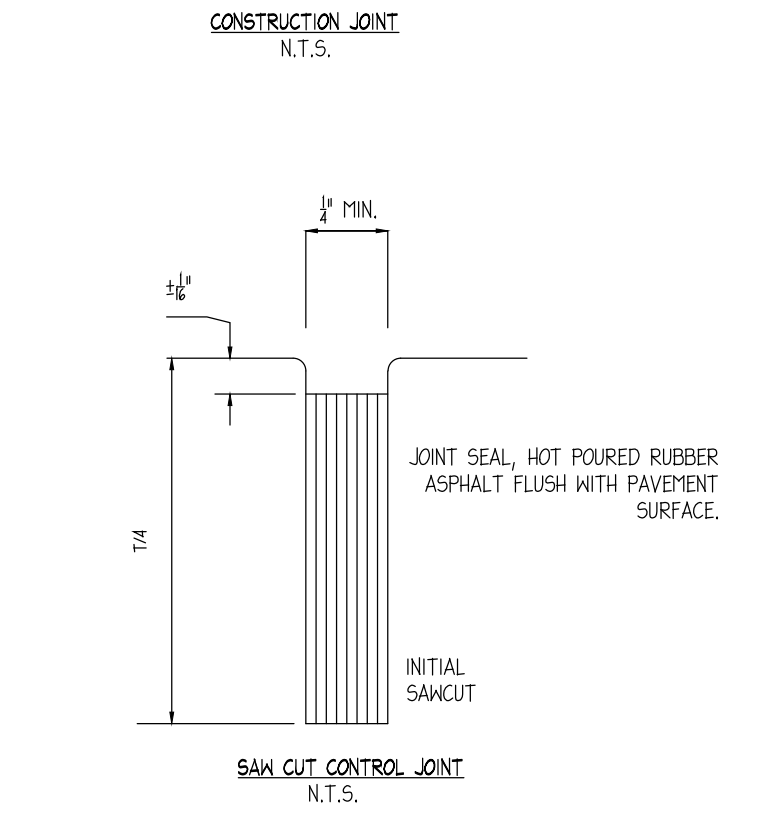
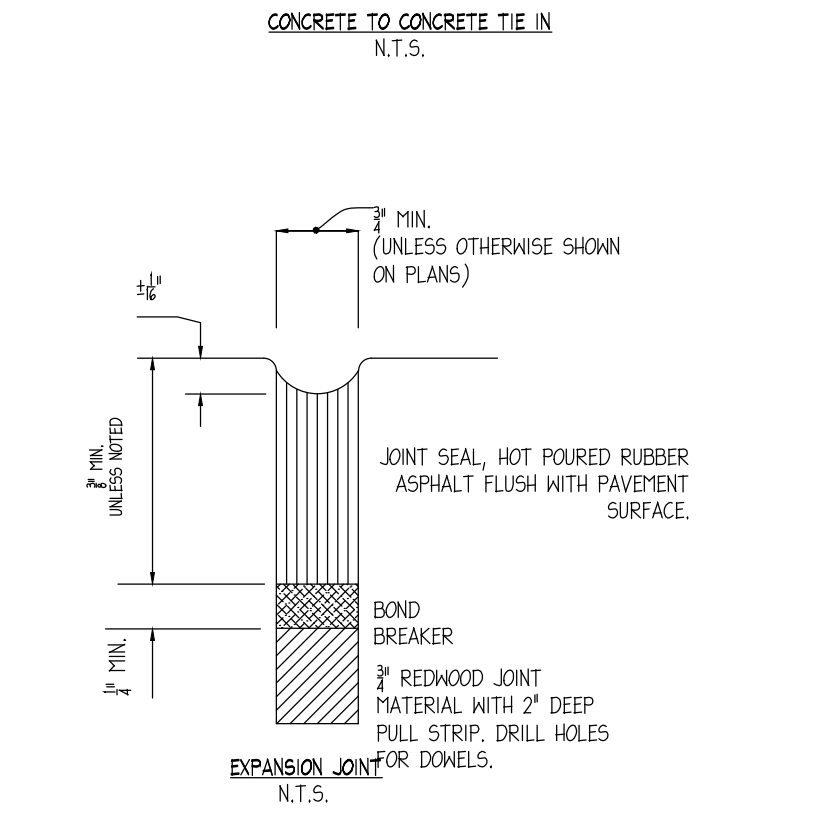
NO.	DATE	DESCRIPTION
1	11/02/2018	ISSUE FOR PERMIT

ISSUE FOR PERMIT

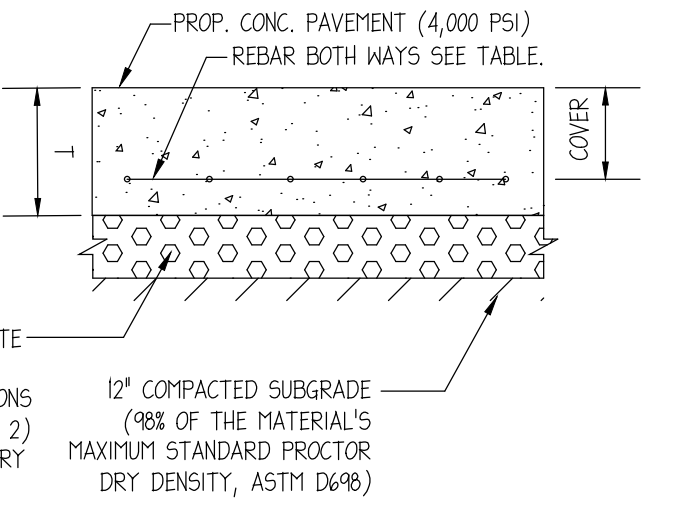


NOTES:

- REINFORCING STEEL BAR SIZE/SPACING SPECIFICATIONS IN GEOTECH REPORT SHALL SUPERSEDE ABOVE TABLE.
- REINFORCING STEEL SIZE/SPACING IS BASED ON MIN. 60,000 PSI TENSILE STRENGTH REINFORCING STEEL AS SHOWN.
- CONCRETE PAVING MIX DESIGN SHALL HAVE MINIMUM 4000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. GEOTECHNICAL REPORT CONCRETE PAVING MIX DESIGN SHALL SUPERSEDE VALUES HEREIN.
- MAXIMUM JOINT SPACING SHALL BE PER JOINT LAYOUT PLAN (IF PROVIDED) BUT SHALL NOT EXCEED VALUES IN TABLE.
- MAXIMUM JOINT SPACING IN GEOTECHNICAL REPORT SHALL SUPERSEDE VALUES IN ABOVE TABLE.
- USE STATE DOT SUBBASE UNLESS OTHERWISE SPECIFIED BY GEOTECHNICAL REPORT.
- ALL JOINTS IN PAVING SHALL BE REFLECTED IN CURBING AND SHALL HAVE ALL THEIR RESPECTIVE JOINTING MATERIALS PRESENT (I.E. EXPANSION JOINTS SHALL HAVE THEIR RESPECTIVE FILLER BOARD AND CAULK REPLACED).
- CURB EXPANSION JOINTS - IF THERE IS AN EXPANSION JOINT IN THE PAVING, THE EXPANSION JOINT MUST FOLLOW THROUGH THE CURB. THE REINFORCING STEEL MUST ALSO BE CUT AT THE EXPANSION JOINT AND NOT ALLOWED TO RUN THROUGH THE JOINT CONTINUOUSLY. A SAW CUT EXPANSION JOINT IS NOT ACCEPTABLE BECAUSE NORMAL EXPANSION AND CONTRACTION WILL CAUSE THE CONCRETE TO PUSH AGAINST THE TWO SECTIONS AND ONE SIDE WILL EVENTUALLY FAIL. IF AN EXPANSION JOINT IS LEFT OUT AND MUST BE SAW CUT IN, THE CURB SHOULD BE CUT TWICE AND A 3/4" PIECE OF CONCRETE IS REMOVED. IN ALL CASES THE JOINT SHOULD BE CAULKED WITH NP1.
- CONCRETE TOUCHING THE BACK OF CURBS- ANY CONCRETE THAT TOUCHES THE BACK OF A CURB INCLUDING SIDEWALKS, ISLAND NOSINGS AND PAYPHONE PADS SHALL BE ISOLATED FROM THE CURB USING 1/2" BLACK ASPHALT IMPREGNATED FIBERBOARD. CONTRACTOR SHALL USE A REMOVABLE STRIP OR A ZIP-STRIP AND SEAL THE JOINT WITH SLL. THE ONLY EXCEPTION IS IF THE ISLAND NOSINGS ARE POURED MONOLITHICALLY WITH THE CURB AND PARKING LOT.
- CURBS AT THE BUILDING FOUNDATION- IF A CURB TOUCHES THE BUILDING FOUNDATION, IT NEEDS TO BE ISOLATED WITH EXPANSION JOINT MATERIAL JUST LIKE THE PAVING. IF AN EXPANSION JOINT IS LEFT OUT AND MUST BE SAW CUT IN, A 3/4" PIECE OF CONCRETE SHOULD BE REMOVED. THE JOINT SHOULD BE CAULKED WITH NP1.
- EXPANSION JOINTS AT ISLAND NOSINGS- IF THE ISLAND NOSINGS ARE POURED MONOLITHICALLY WITH THE CURB AND PARKING LOT, THEN PAVING EXPANSION JOINTS SHOULD CONTINUE THROUGH THE NOSINGS.



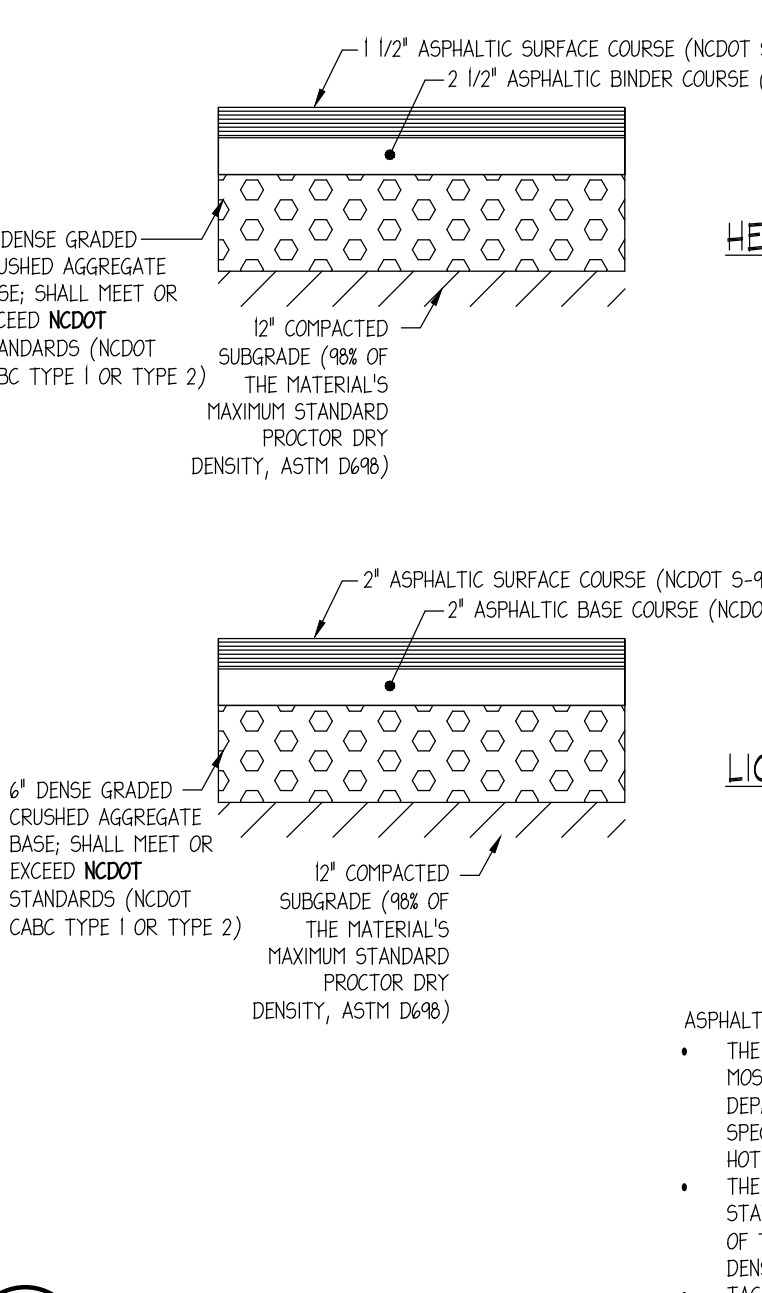
REINFORCEMENT TABLE				
CONCRETE SECTION DESIGNATION	(T) SLAB THICKNESS (IN.)	(COVER) COVER (IN.) (2" MIN)	MAX. EXPANSION JOINT SPACING (FT.)	60,000 PSI STEEL REINFORCING STEEL BAR SIZE & SPACING
TYPE 'A'	5	2	15	#3 @ 24" C-C
TYPE 'B'	7	2	15	#3 @ 24" C-C



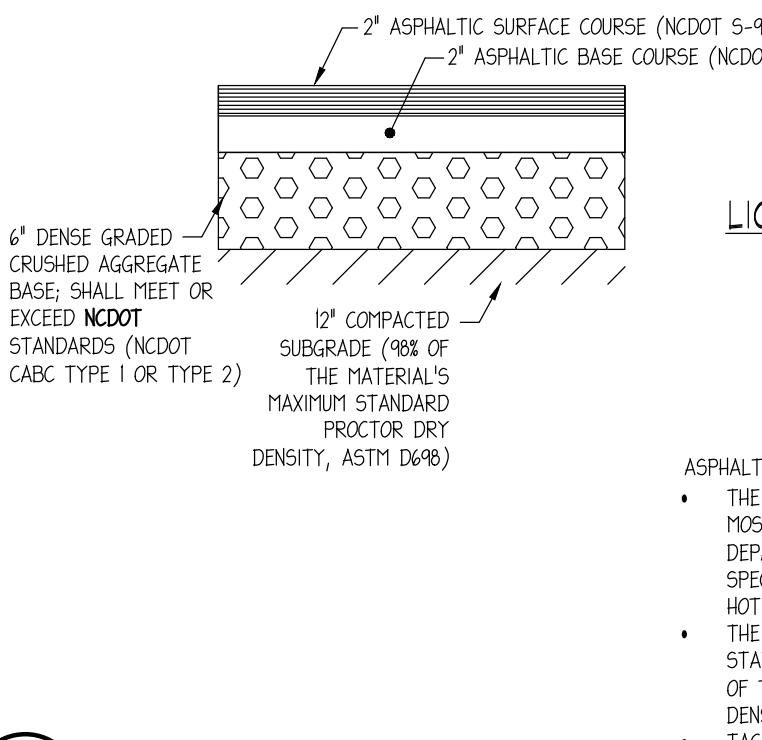
1 CONCRETE SECTION N.T.S.

2 CONCRETE SIDEWALK N.T.S.

3 24" CURB AND GUTTER N.T.S.



HEAVY-DUTY ASPHALT (A)



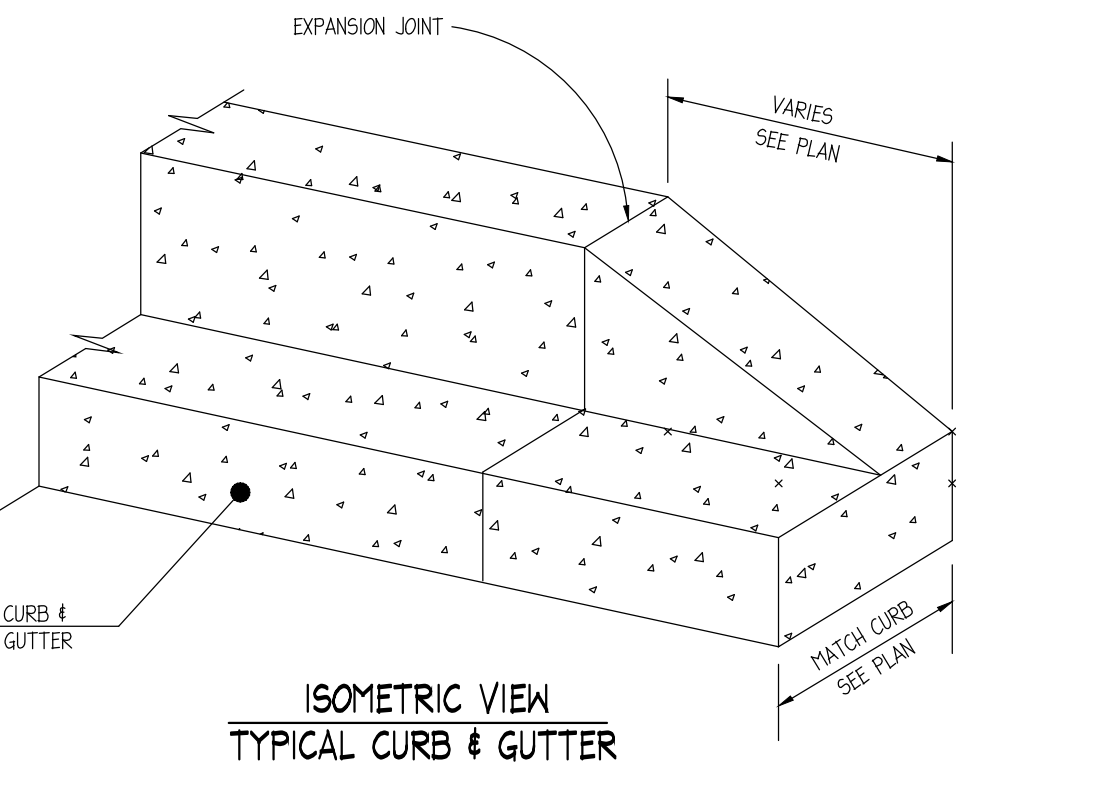
LIGHT-DUTY ASPHALT (B)

ASPHALT NOTES:

- THE ASPHALT SURFACE COURSE SHOULD CONFORM TO THE MOST RECENT EDITION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, FOR HOT MIX ASPHALTIC CONCRETE SURFACE COURSE.
- THE BASE COURSE SHOULD CONFORM TO THE NCDOT STANDARDS FOR BASE COURSE COMPACTED TO 100 PERCENT OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY.
- TACK COAT SHOULD BE PROVIDED ATOP EACH PAVEMENT SECTION.

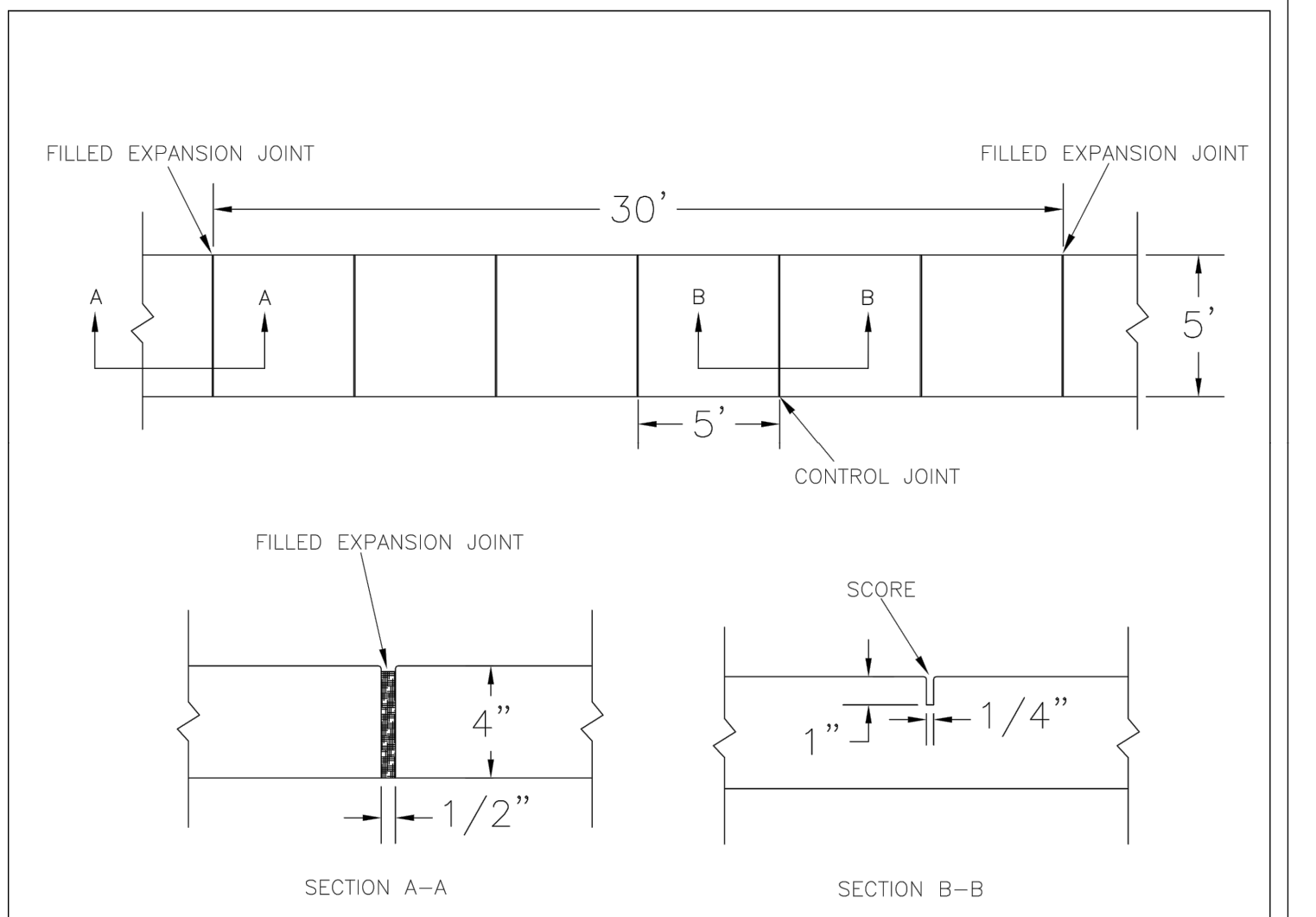
4 PAVEMENT SECTION N.T.S.

5 CURB TRANSITION N.T.S.



5 CURB TRANSITION N.T.S.

6 3-PEAK BIKE RACK N.T.S.



- NOTES:**
- JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
 - SANITARY SEWER CLEAN-OUTS, WATER METERS, MANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
 - MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
 - CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APRON) SHALL BE CLASS "A" - 3,000 PSI.
 - MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
 - 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
 - MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
 - MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
 - MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 8.3%, 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

DATE: OCTOBER, 2010

DRAWN: PB/JSR

CHECKED: DEC

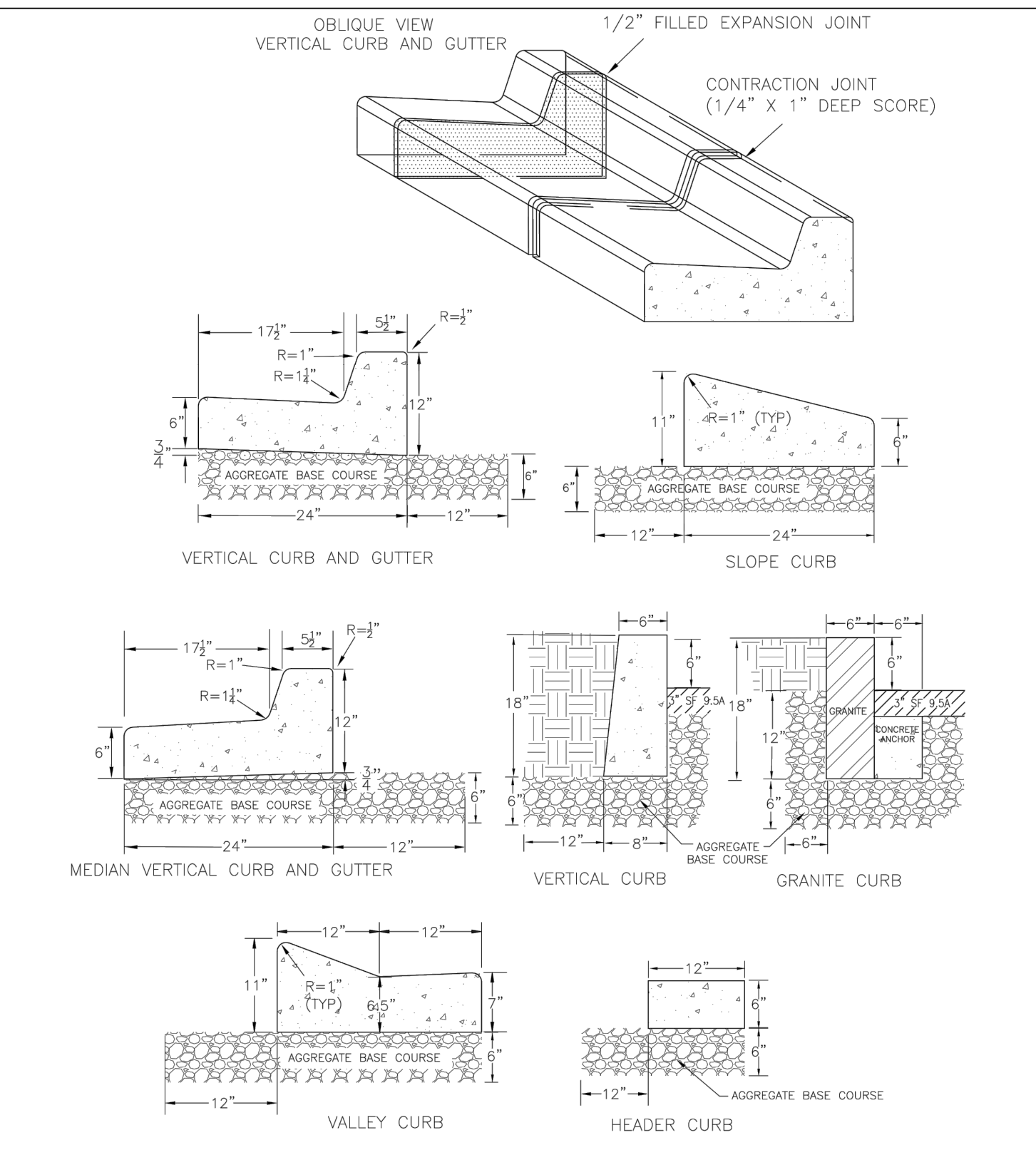
SCALE: NOT TO SCALE

STANDARD DETAIL

SIDEWALK

CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON N.C. 28402
(910) 341-7807

SD 3-10



- NOTES:**
- EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
 - 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
 - MINIMUM INSTALLATION LENGTH IS 5 FT.
 - CONCRETE TO BE 3000 PSI MIN
 - VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE

DATE: AUGUST, 2011

DRAWN: PB/JSR

CHECKED: DEC

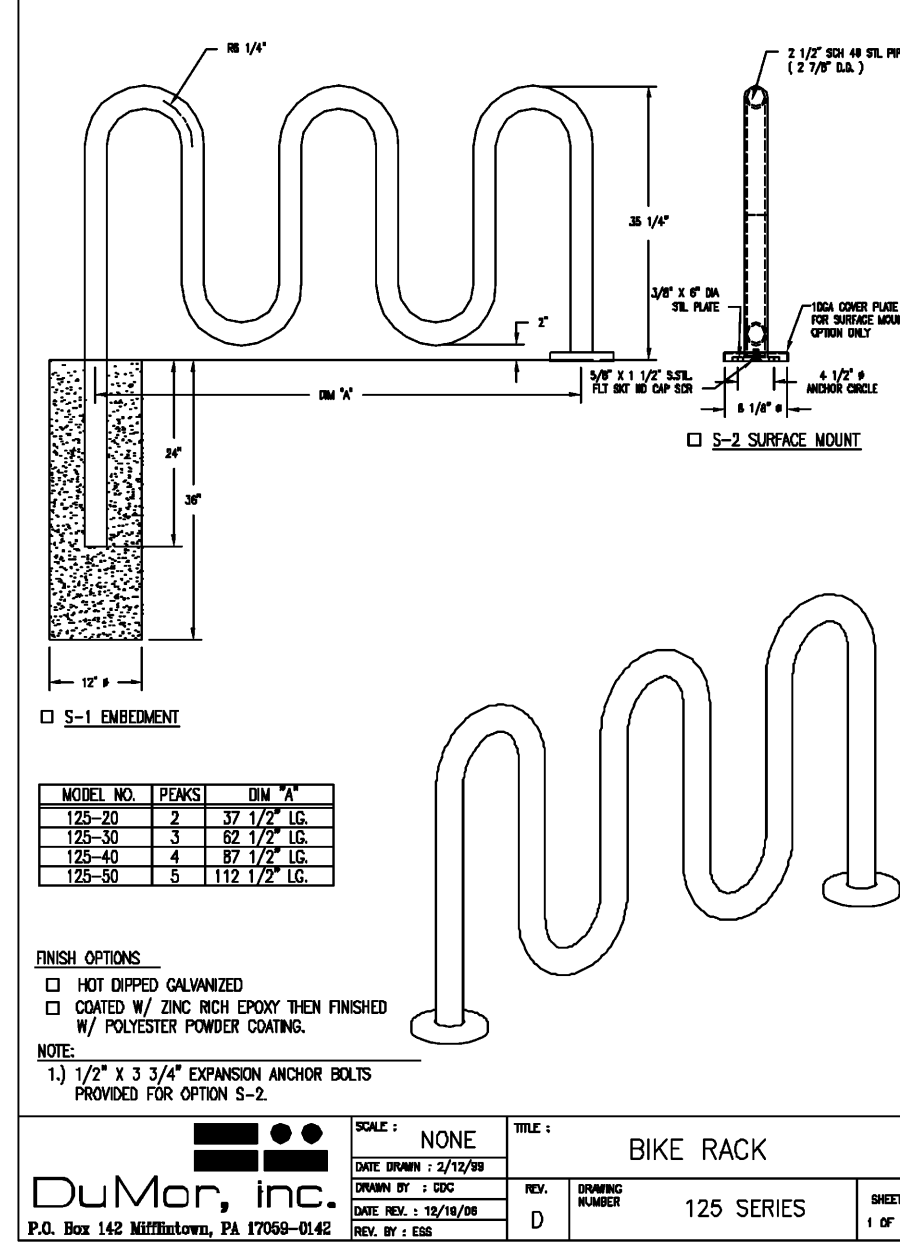
SCALE: NOT TO SCALE

STANDARD DETAIL

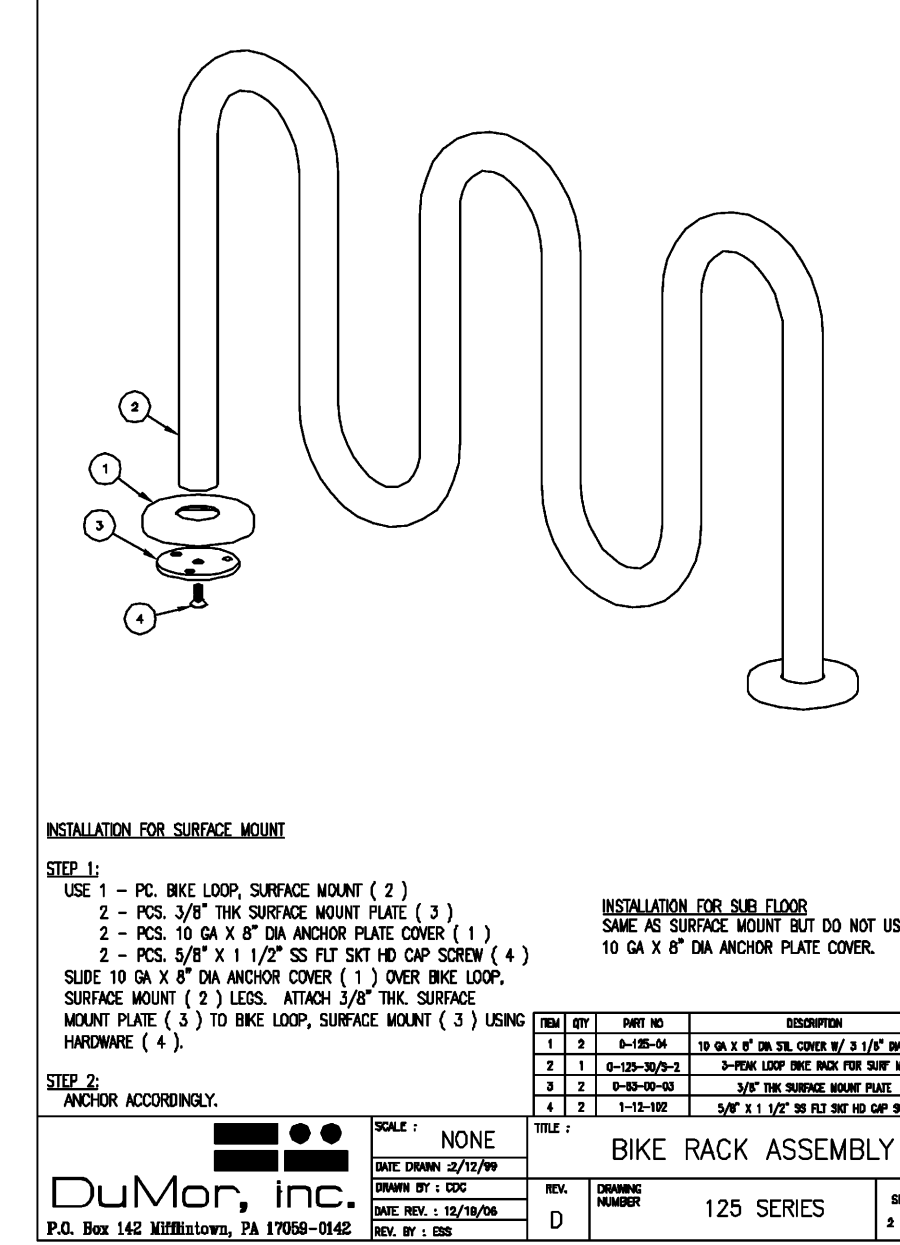
CURBING

CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON N.C. 28402
(910) 341-7807

SD 3-11



6 3-PEAK BIKE RACK N.T.S.

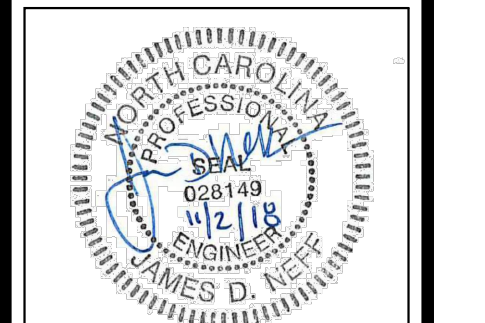


6 3-PEAK BIKE RACK ASSEMBLY N.T.S.



ingenium ENTERPRISES
PLANNING & ENGINEERING

1449 N DALE HARRY HWY
SUITE 250
TAMPA, FL 33648
813.367.0084
WWW.INGENIUMENTERPRISES.COM



PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:

PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSEMEAD, CALIFORNIA 91770
PHONE: 626-799-9898

REVISION HISTORY	
1	ISSUED FOR PERMIT
2	REVISED PER COMMENTS
3	REVISED PER COMMENTS
4	REVISED PER COMMENTS
5	REVISED PER COMMENTS
6	REVISED PER COMMENTS
7	REVISED PER COMMENTS
8	REVISED PER COMMENTS
9	REVISED PER COMMENTS
10	REVISED PER COMMENTS

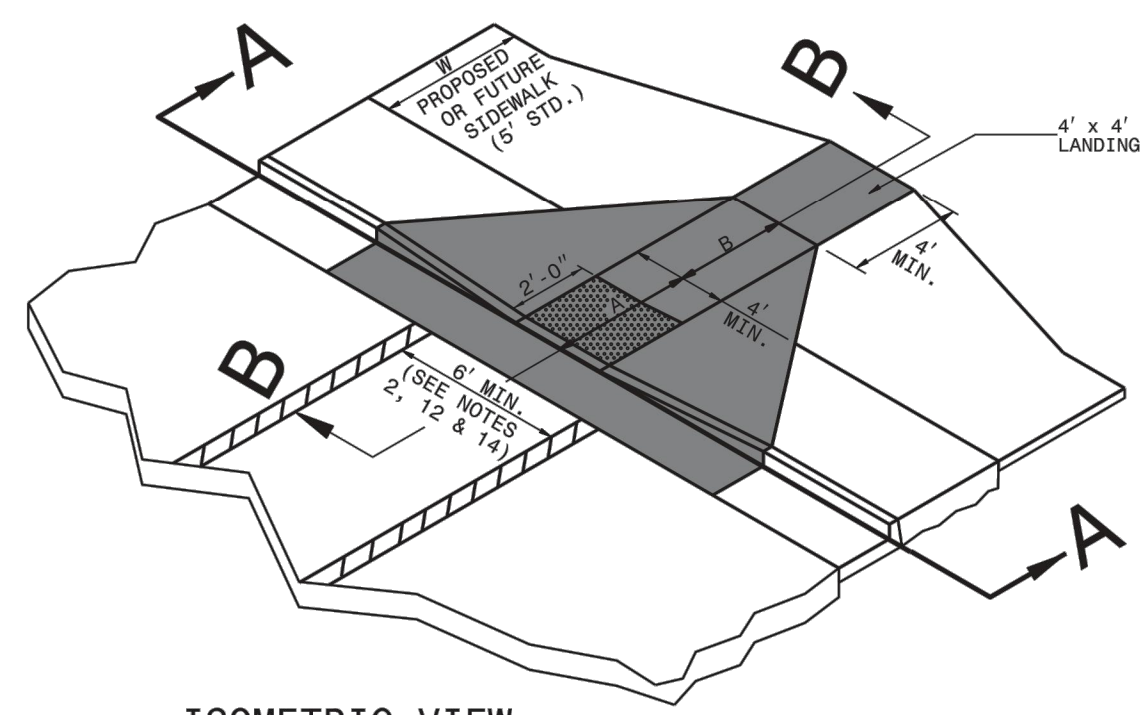
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PROJ #	REV	DATE	BY	CHKD
110058	1	11/02/2010	JSR	JSR

HARDSCAPE DETAILS II

C03.3
SHEET NUMBER

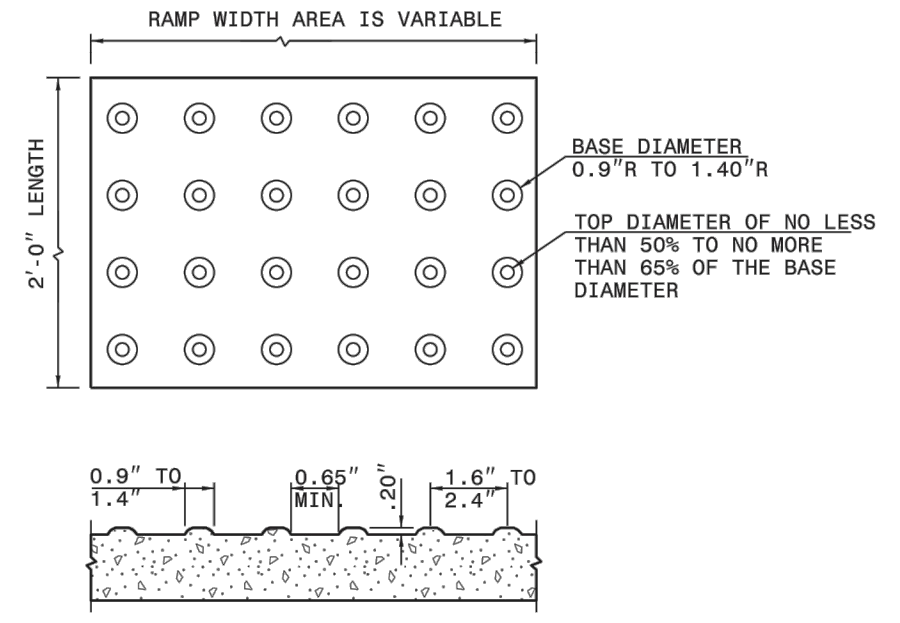
ISSUE FOR PERMIT



ISOMETRIC VIEW

■ PAY LIMITS FOR CURB RAMP

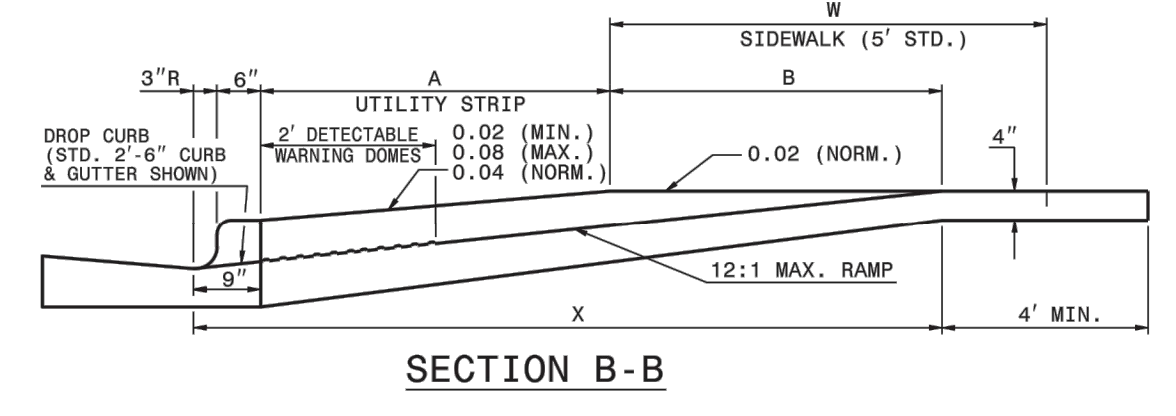
NOTES:
 1. DETECTABLE WARNING DOMES WILL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
 2. DETECTABLE WARNING DOMES WILL CONTRAST VISIBILITY WITH ADJOINING SURFACE, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT SEQUENCE COVERING THE ENTIRE RAMP.



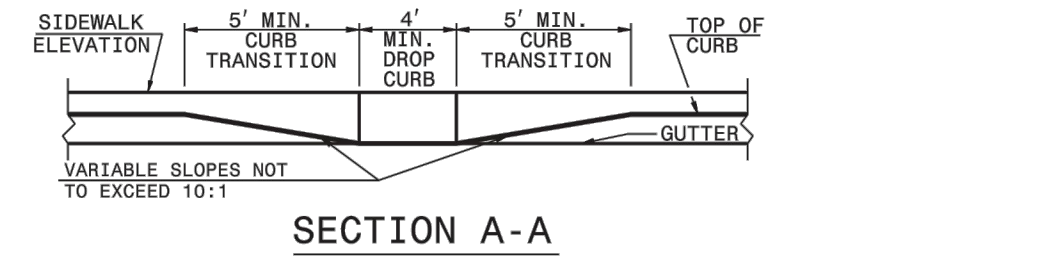
DETECTABLE WARNING DOMES

W	A	W+A+9"	X	B
5'	0.0'	5.8'	5.8'	5.0"
6'	0.0'	6.8'	6.8'	6.0"
7'	0.0'	7.8'	7.3'	6.5"
8'	0.0'	8.8'	7.3'	6.5"
5'	2.0'	7.8'	7.8'	5.0"
6'	2.5'	8.3'	8.1'	4.8"
5'	3.0'	8.8'	8.3'	4.4"
5'	3.5'	9.3'	8.4'	4.1"
5'	4.0'	9.8'	8.6'	3.8"
5'	4.5'	10.3'	8.7'	3.4"
5'	5.0'	10.8'	8.9'	3.1"

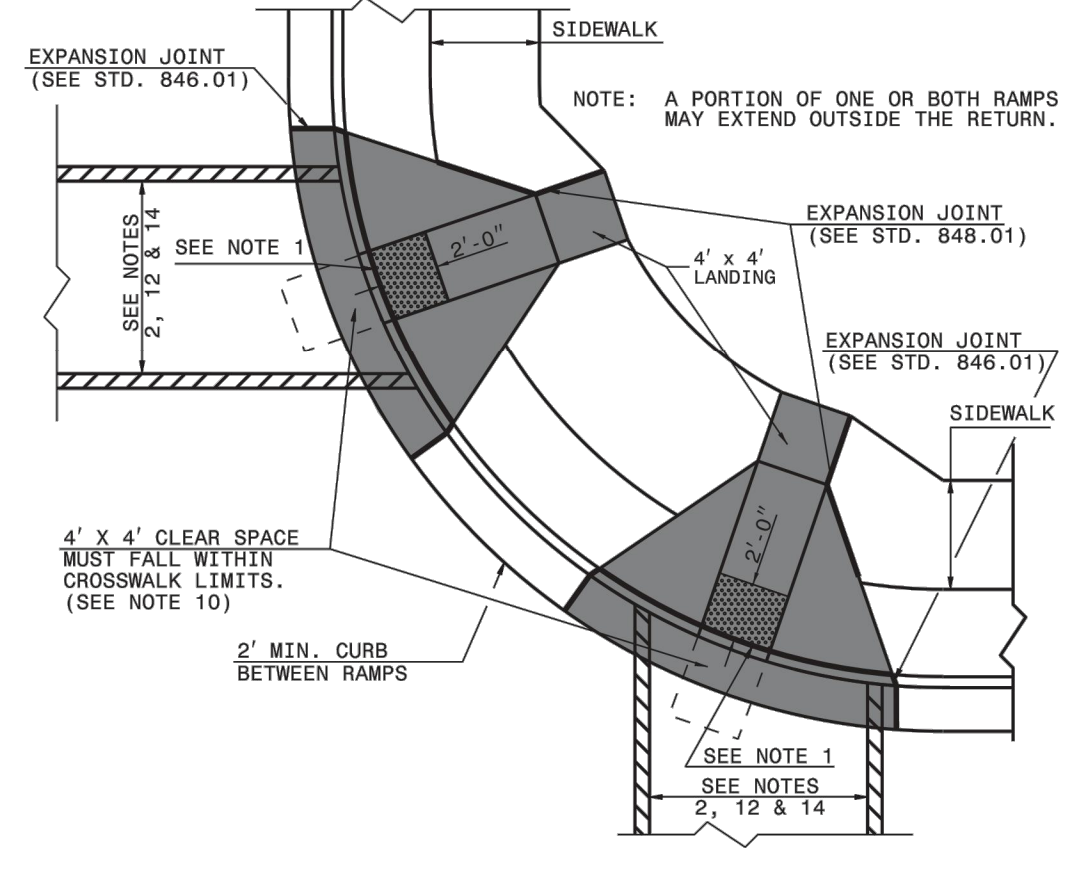
B = X (A+9")
 B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 12:1 (8.33%) SLOPE.
 * BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.
 ** BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES 0.04.



SECTION B-B



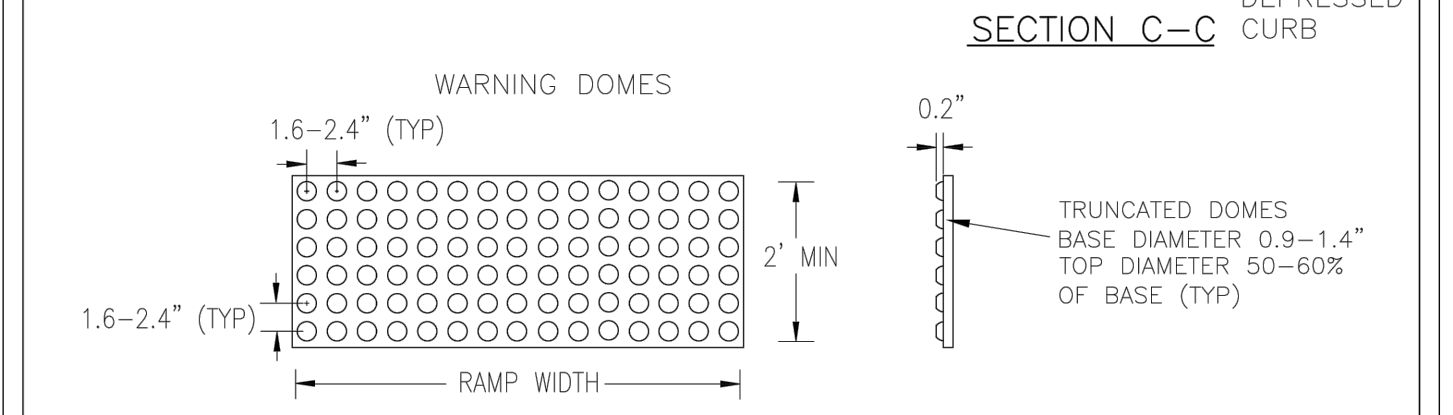
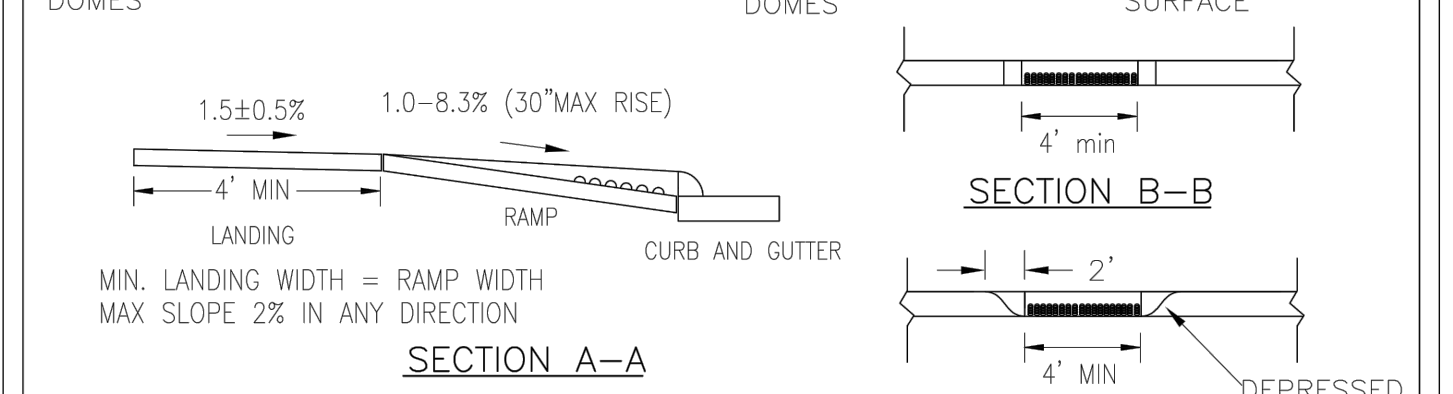
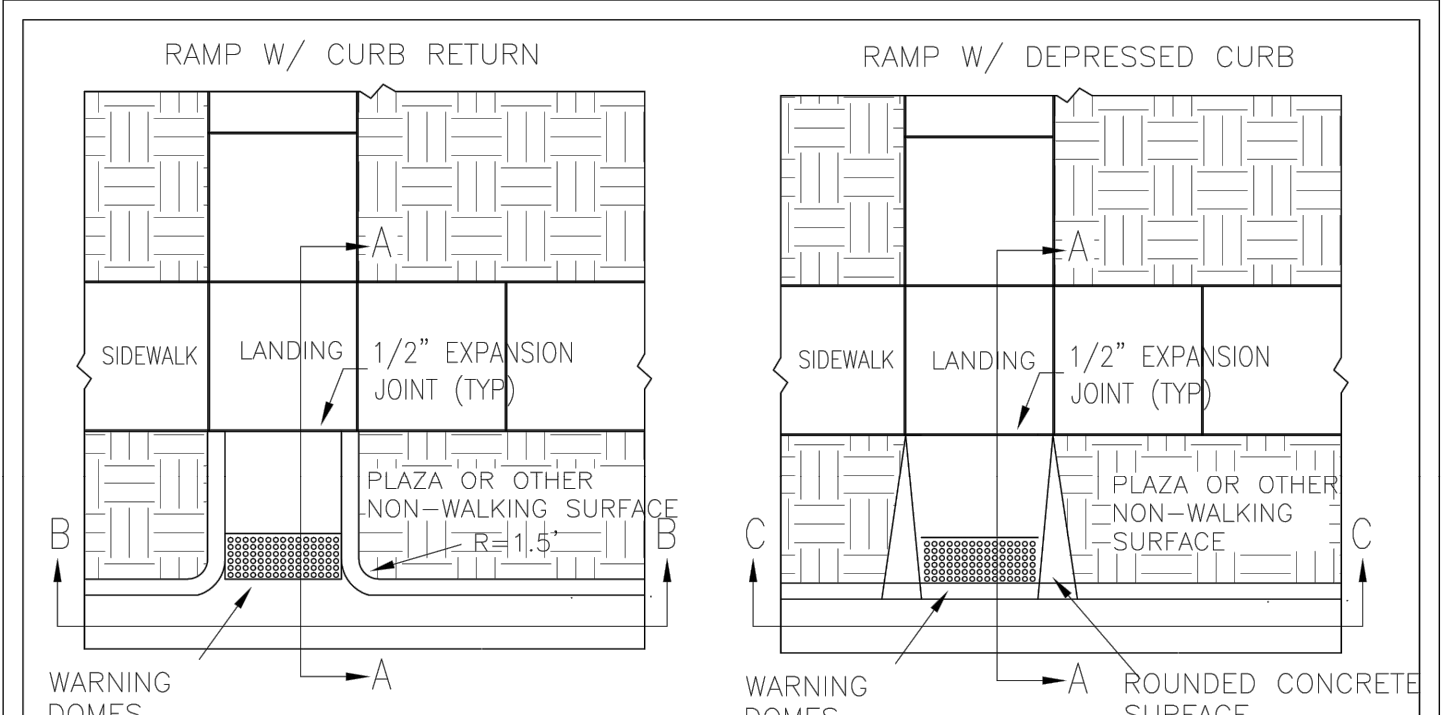
SECTION A-A



PLAN VIEW

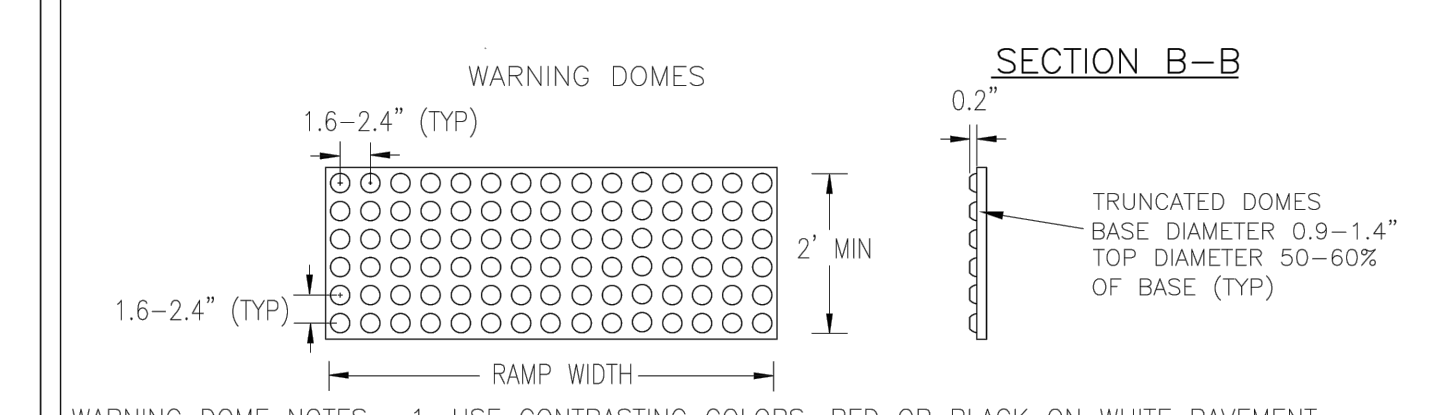
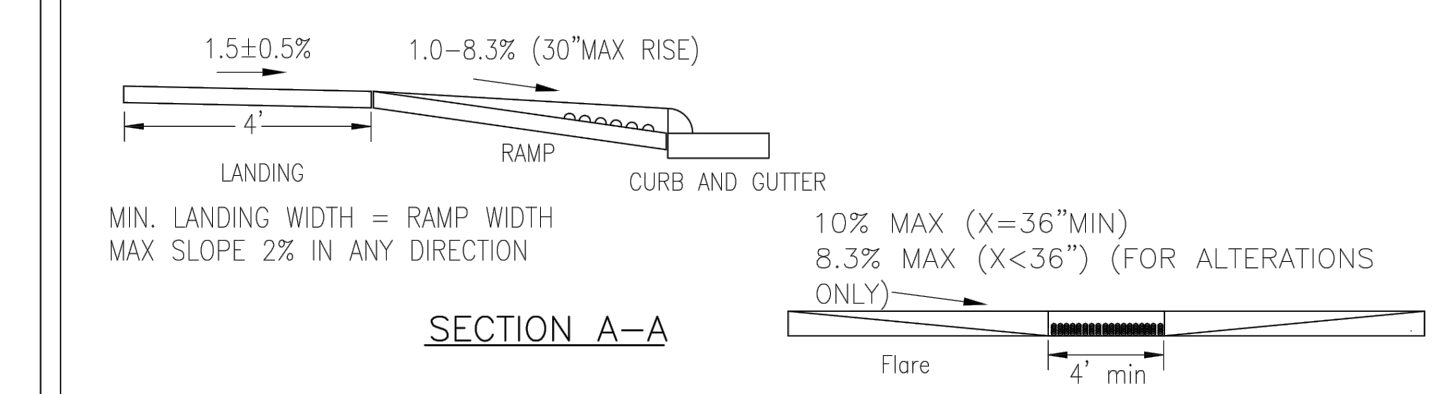
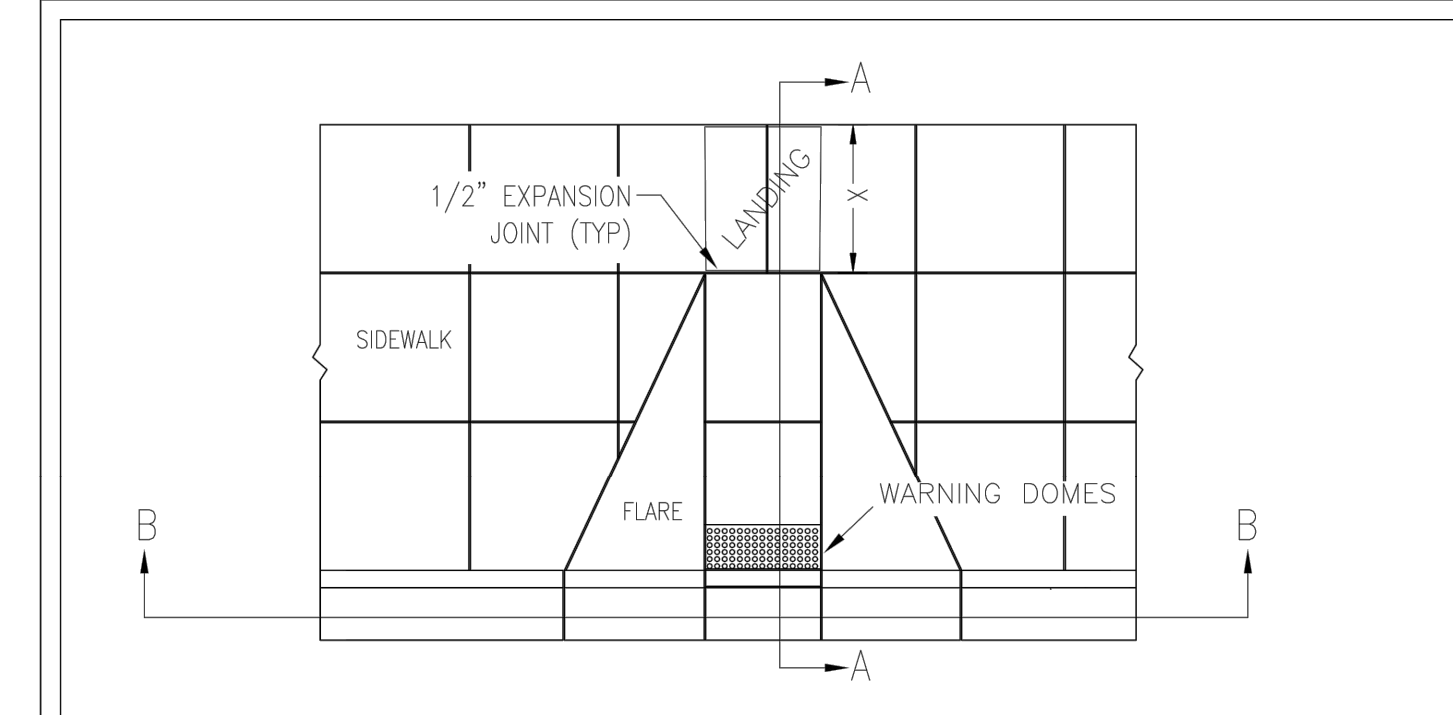
DUAL RAMP
 (4' MIN. FLOOR WIDTH)

1-18 STATE OF NORTH CAROLINA DEPT. OF TRANSPORTATION DIVISION OF HIGHWAYS RALEIGH, N.C.
 ROADWAY STANDARD DRAWING FOR PROPOSED CURB AND GUTTER
 SHEET 1 OF 3
848.05



WARNING DOME NOTES:
 1. USE CONTRASTING COLORS, RED OR BLACK ON WHITE PAVEMENT.
 2. USE CAST IN PLACE PAVERS FOR NEW CONSTRUCTION.
 3. RUBBER MATS ARE PERMITTED FOR RETROFITS.
 4. LANDING AND RAMP WIDTH MAY BE REDUCED TO 3' WHERE SPACE IS LIMITED AND DESIGN IS APPROVED BY THE CITY ENGINEER.

DATE: DECEMBER, 2010	STANDARD DETAIL	 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807	SD3-08
DRAWN BY: PBJ/SJR	PERPENDICULAR CURB RAMP ADJACENT TO PLAZA		
CHECKED BY: DEC			
SCALE: NOT TO SCALE			

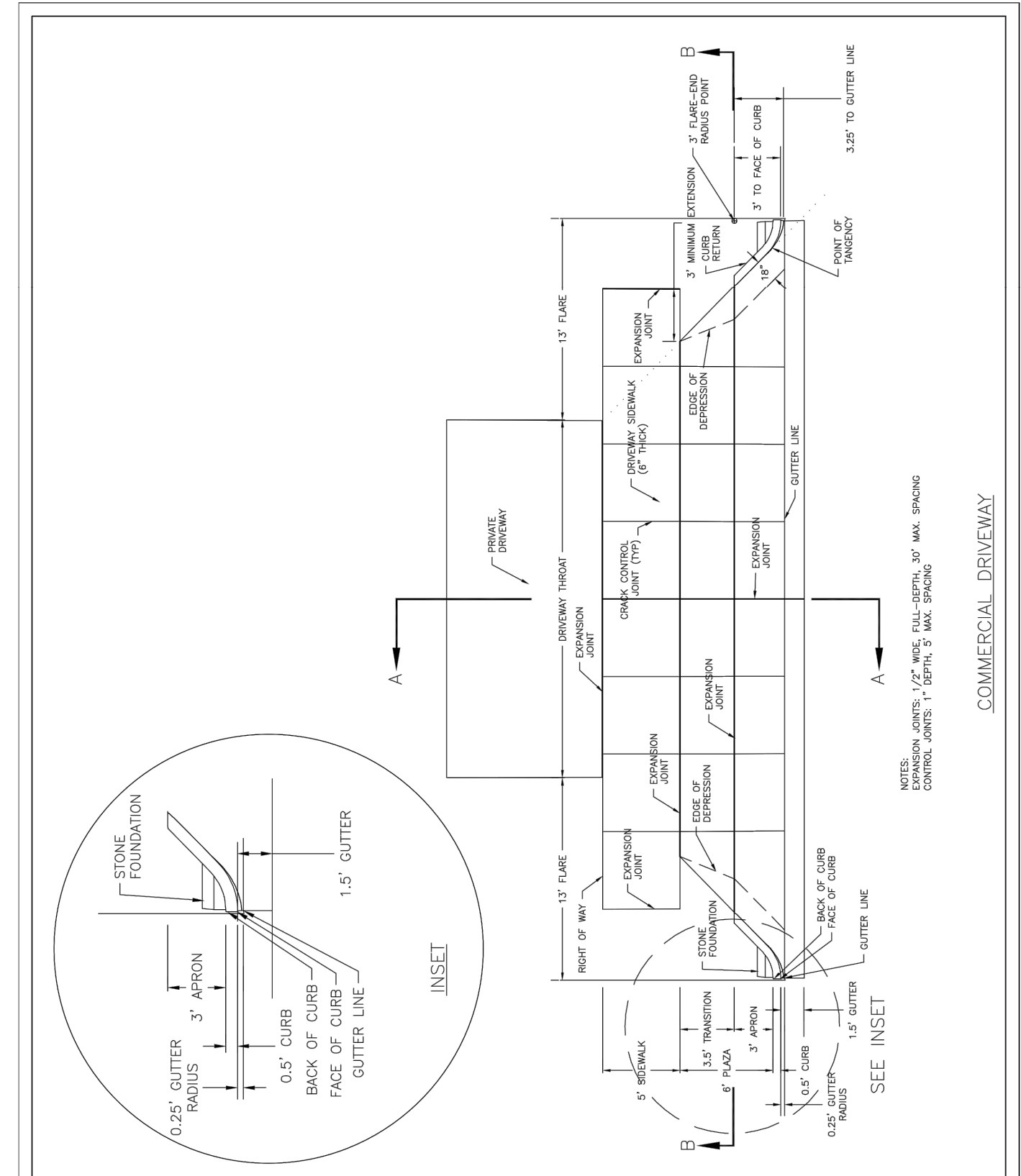


WARNING DOME NOTES:
 1. USE CONTRASTING COLORS, RED OR BLACK ON WHITE PAVEMENT.
 2. USE CAST IN PLACE PAVERS FOR NEW CONSTRUCTION.
 3. RUBBER MATS ARE PERMITTED FOR RETROFITS.
 4. LANDING AND RAMP WIDTH MAY BE REDUCED TO 3' WHERE SPACE IS LIMITED AND DESIGN IS APPROVED BY THE CITY ENGINEER.

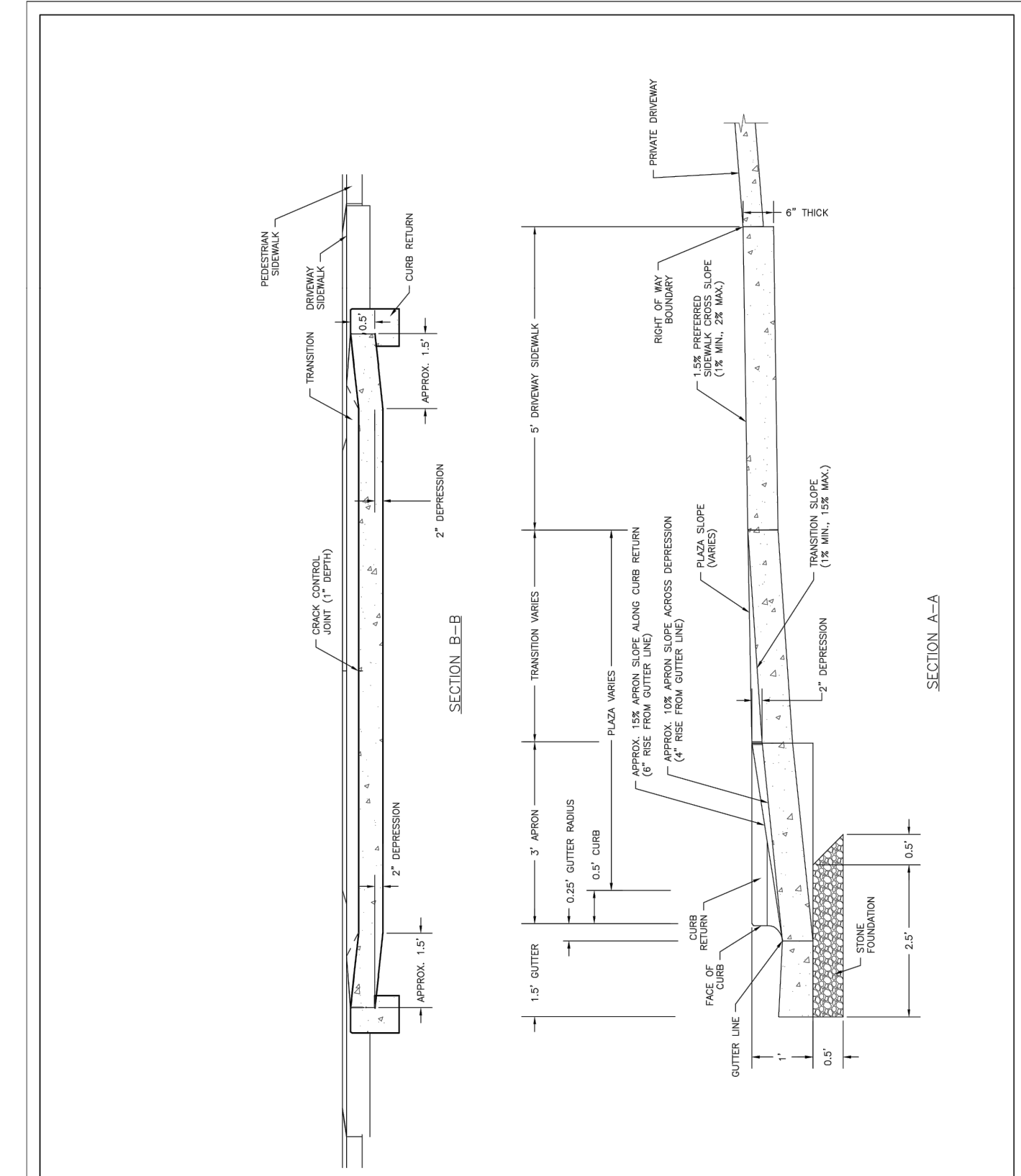
DATE: DECEMBER, 2010	STANDARD DETAIL	 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807	SD 3-07
DRAWN BY: PBJ/SJR	PERPENDICULAR CURB RAMP ADJACENT TO WALKING SURFACE		
CHECKED BY: DEC			
SCALE: NOT TO SCALE			

1 SIDEWALK RAMP NTS

2 COMMERCIAL DRIVEWAY NTS



DATE: FEB. 14, 2017	STANDARD DETAIL	 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807	SD 3-03.3
DRAWN BY: JSR	COMMERCIAL DRIVEWAY PLAN (VERTICAL CURB)		
CHECKED BY: D.E.C., P.E.			
SCALE: NOT TO SCALE			



DATE: FEB. 14, 2017	STANDARD DETAIL	 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, N.C. 28402 (910) 341-7807	SD 3-03.4
DRAWN BY: JSR	COMMERCIAL DRIVEWAY SECTIONS (VERTICAL CURB)		
CHECKED BY: D.E.C., P.E.			
SCALE: NOT TO SCALE			

3 DESIGN NOTES NTS

1. Variances on stall widths, angle and other dimensions will be allowed only upon approval of the Traffic Engineer.
2. Wheel stops shall be required three (3) feet from the end of parking stall when using eighteen (18) feet deep stalls.
3. Curbing, crossties, utility poles, etc., can be used as wheel stops. (Must be anchored down)
4. All medians shall be a minimum of six (6) feet wide.
5. Parking bays which terminate at a circulation way shall provide for a minimum turning radius of twenty-five (25) feet, as measured from the edge of the travel portion.
6. All parking stall markings and lane arrows shall be white.
7. All other pavement markings, signs or other traffic control devices shall conform to the latest edition and/or interpretation of the Manual on Uniform Traffic Control Devices (MUTCD).
8. No obstructions will be allowed adjacent to a parking stall which would prevent safe ingress and egress from a parked vehicle.
9. Parking in fire lanes and in non-residential driveways shall be prevented by standard signs and as needed by portable barricades.

DATE: 2001	STANDARD DETAIL	 CITY OF WILMINGTON ENGINEERING PO BOX 1810 WILMINGTON, NC 28402 (910) 341-7807	SD 15-13
DRAWN BY: JSR/CMR	PARKING FACILITY DESIGN NOTES		
CHECKED BY: B.P., P.E.			
SCALE: NOT TO SCALE			

14491 N DALE HARRY HWY SUITE 250 TAMPA, FL 33648 813.367.0084

PANDA EXPRESS, INC.
 STORE NUMBER: #####
 DEVELOPMENT NUMBER: 6611
 11 VAN CAMPEN BOULEVARD
 WILMINGTON, NORTH CAROLINA

CLIENT:
PANDA EXPRESS, INC.
 1683 WALNUT GROVE AVENUE
 ROSEMEAD, CALIFORNIA 91770
 PHONE: 626-799-9898

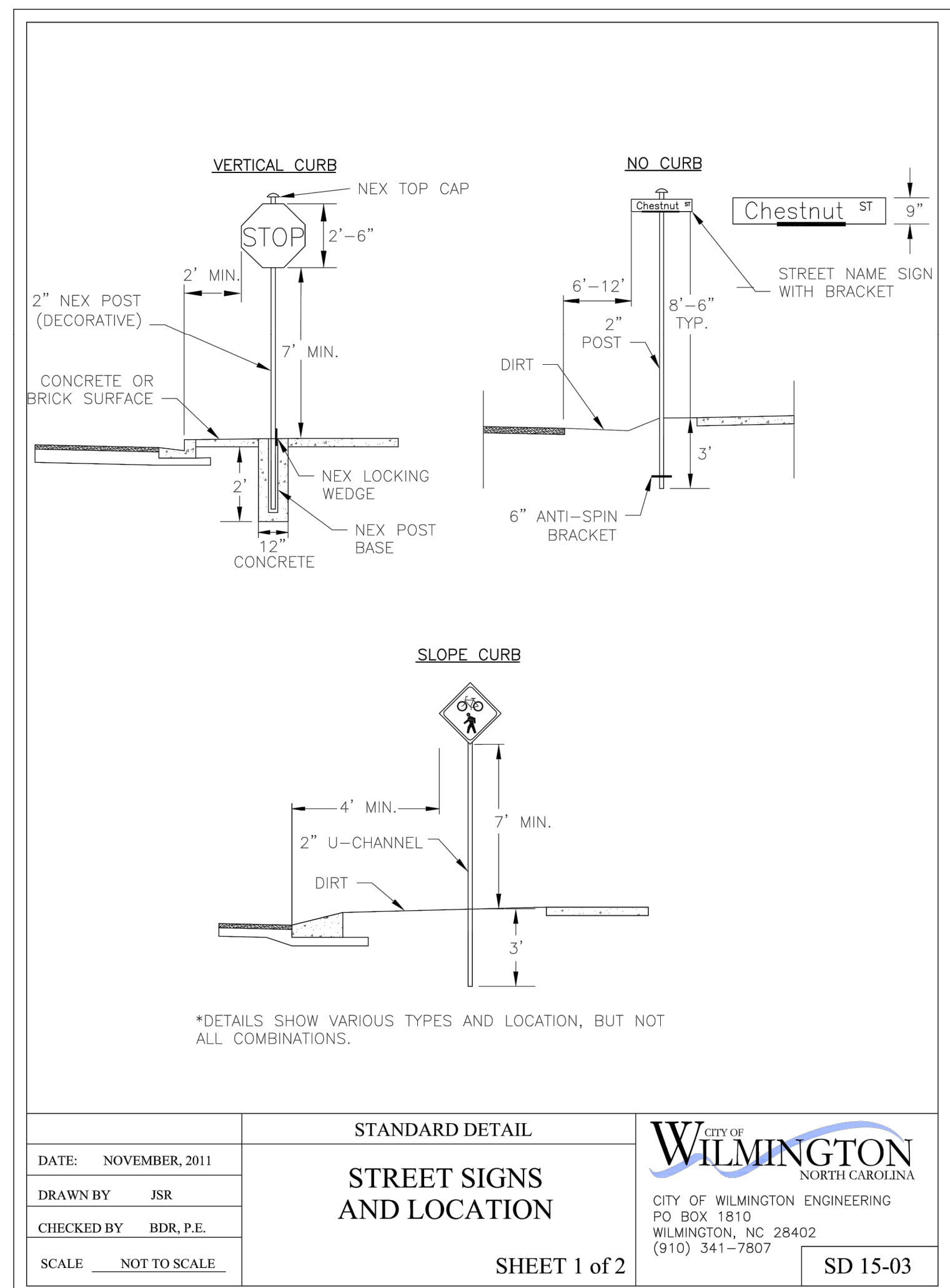
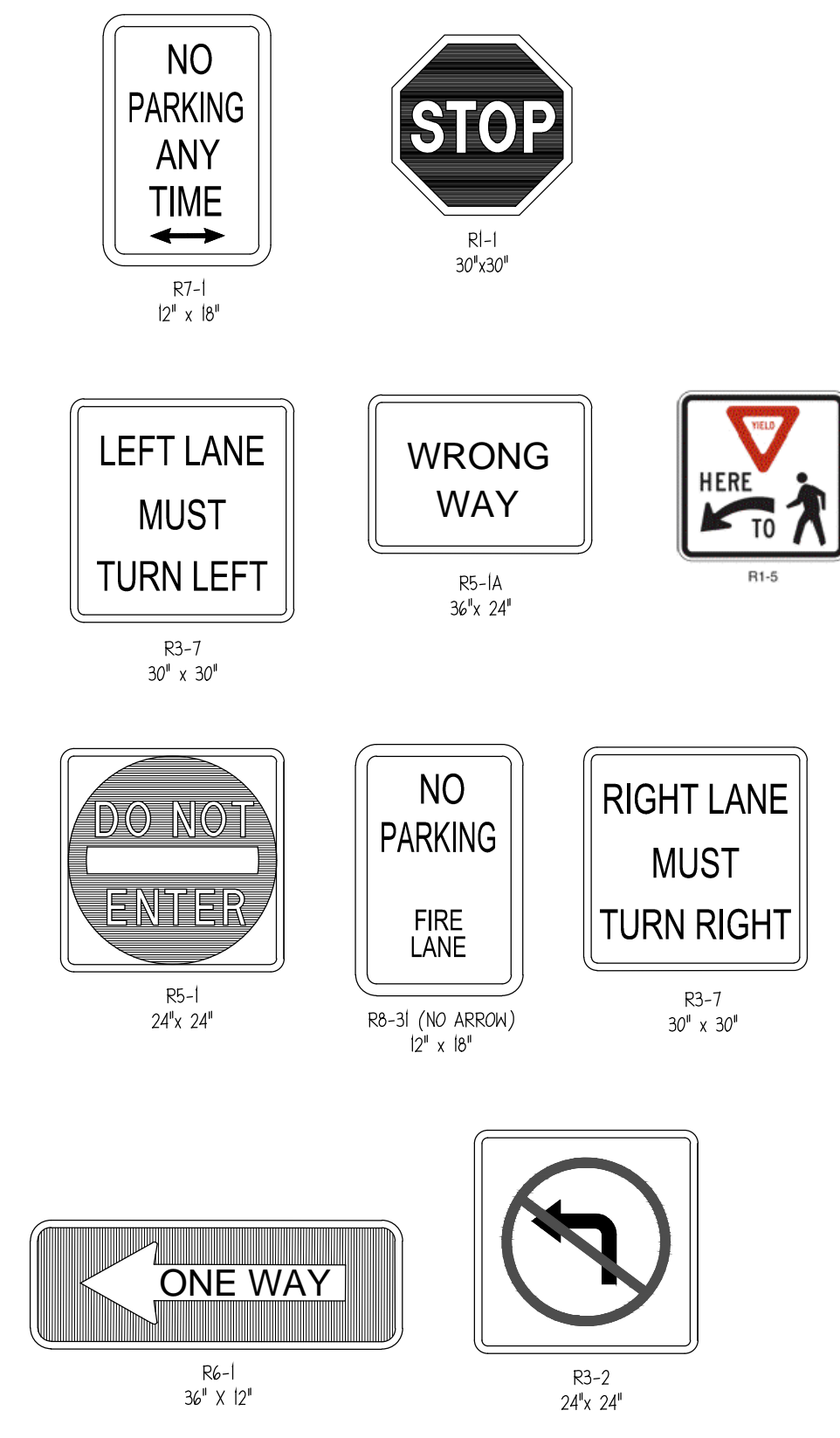
NO.	DATE	DESCRIPTION

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PROJ #	180558
DWG NAME	180558_C03.DWG
ISSUE DATE	11/02/2018
PROJ TGR	LJC

HARDSCAPE DETAILS III
C03.4
 SHEET NUMBER

ISSUE FOR PERMIT



SIGNS

- All signs shall meet the requirements of MUTCD and City Traffic Engineering in effect at the time of construction.
- All Traffic Control Signs including multi-use paths shall be fabricated with 0.080 inch aluminum blanks using high intensity prismatic reflective sheeting Type IV or better. STOP signs shall be a minimum of 30"x30".
- SPECIAL DESIGNATION signs by location and type shall adhere to City of Wilmington signage plan (ie. downtown, historic, cross-city trail, parks, riverfront, scenic by-way, parking, etc.) and all associated policies.
- POST MOUNTED STREET NAME SIGNS shall be fabricated with 9" extruded aluminum street name sign blanks using a standard cut-out. Minimum sign length is 18" long and increasing in 6" increments to 54" maximum as dictated by the number of letters in the name. The color scheme shall be white letters on a green background without a border. Generally, in the downtown and historic areas or as designated in the City of Wilmington signage plan the background shall be blue and contain a topper.
- Decorative sign posts shall consist of the NEX sign support system, 2" octagonal tube, 14 gauge, powder coated glossy black and include cap, post, base and wedge.
- All other sign posts shall be u-channel posts made of galvanized steel with 8" posts 2lbs/ft of 12" posts 3lbs/ft. Galvanized NEX post may be substituted with approval from the City Signs and Markings Engineer.
- OVERHEAD STREET NAME SIGNS shall be fabricated with 0.080 inch aluminum flat sign blanks 18" in height using a standard cut-out. Sign length will be dictated by the number of letters in the name. For mast-arm type traffic signal supports and other overhead support systems refer to the design plans for maximum sign length.
- All sign lettering, colors and fonts shall adhere to the MUTCD in effect at the time of construction. Fluorescent Yellow-Green shall be used on signs, in place of Yellow, when listed as an optional color in the MUTCD. Generally, the font will be FHWA series fonts (Highway Gothic.) Other font types require prior City Signs and Markings Engineer approval.

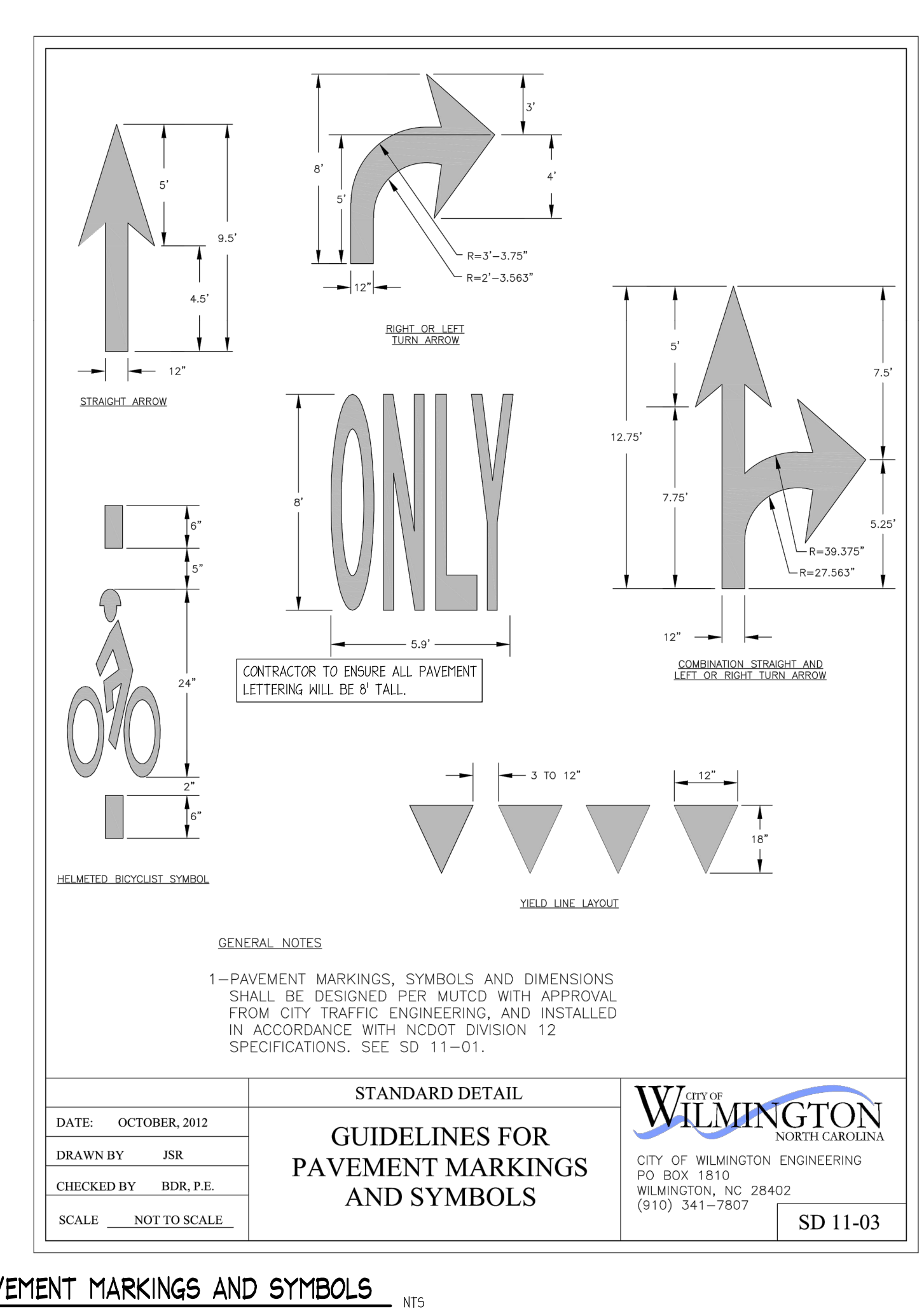
LOCATION

- Sign locations depend on the edge of road condition. Generally, signs shall be a minimum 2' from face of a vertical curb, 4' from front of slope face curb, and 6' from edge of pavement without curb. Signs shall not be located more than 12' from any of these locations.
- Sign posts installed in dirt shall be buried a minimum of 36". Octagonal posts shall utilize an anti-spin device, 6" in length minimum. Sign posts installed in concrete or brick shall utilize a base cast in concrete 24" x 12" diameter.
- Street name signs shall be installed 8'-6" from the ground to the bottom of the sign. Street name signs co-located with STOP signs shall be installed above the STOP sign. A 6" space shall be maintained between the STOP sign and a Street name sign that is parallel to the STOP sign face. All other signs should be mounted per MUTCD guidelines for Urban Areas.

STANDARD DETAIL
STREET SIGNS AND LOCATION
SHEET 2 of 2

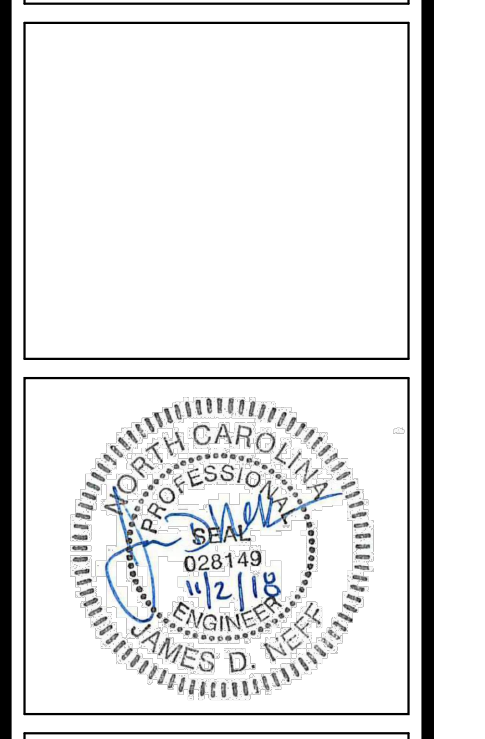
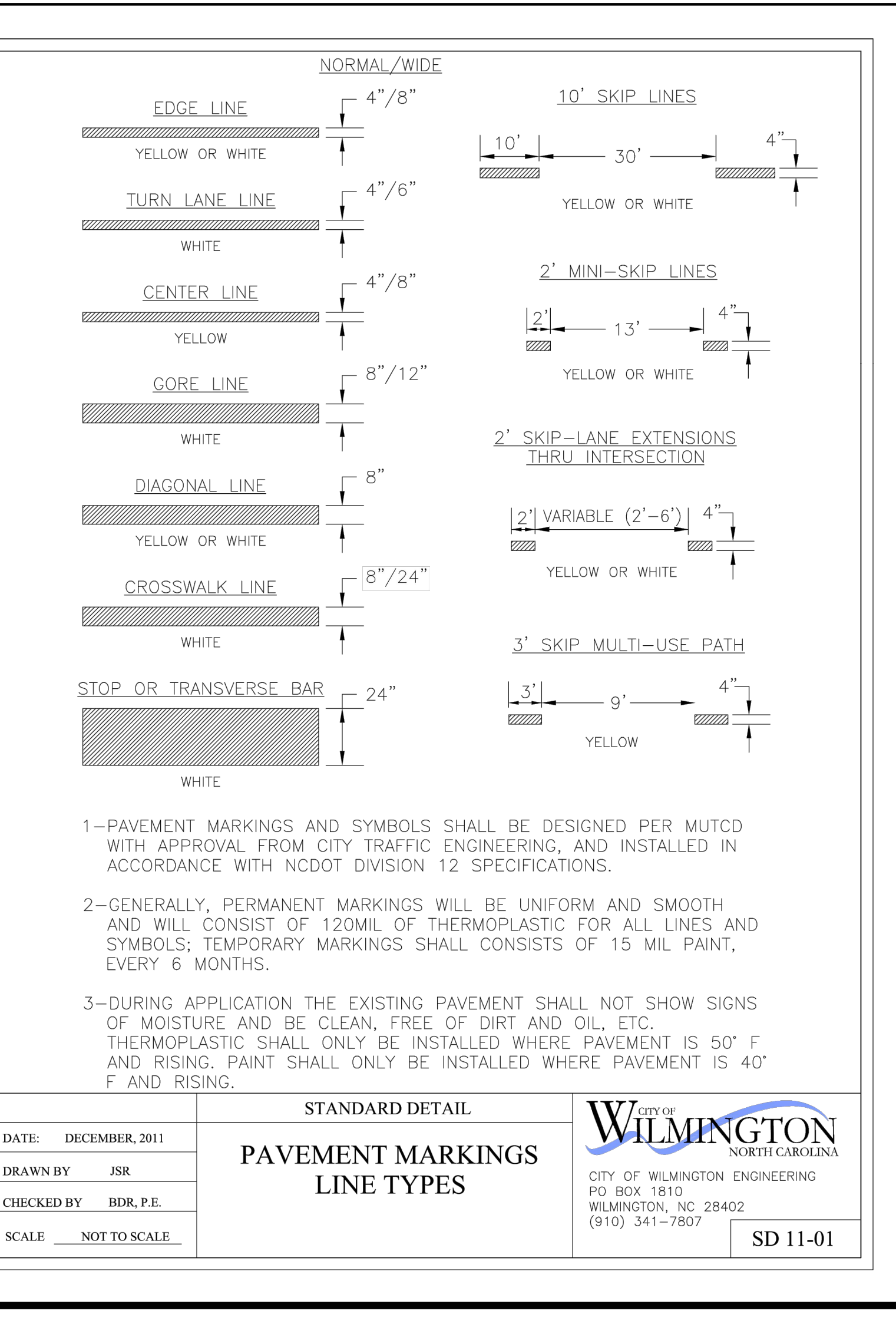
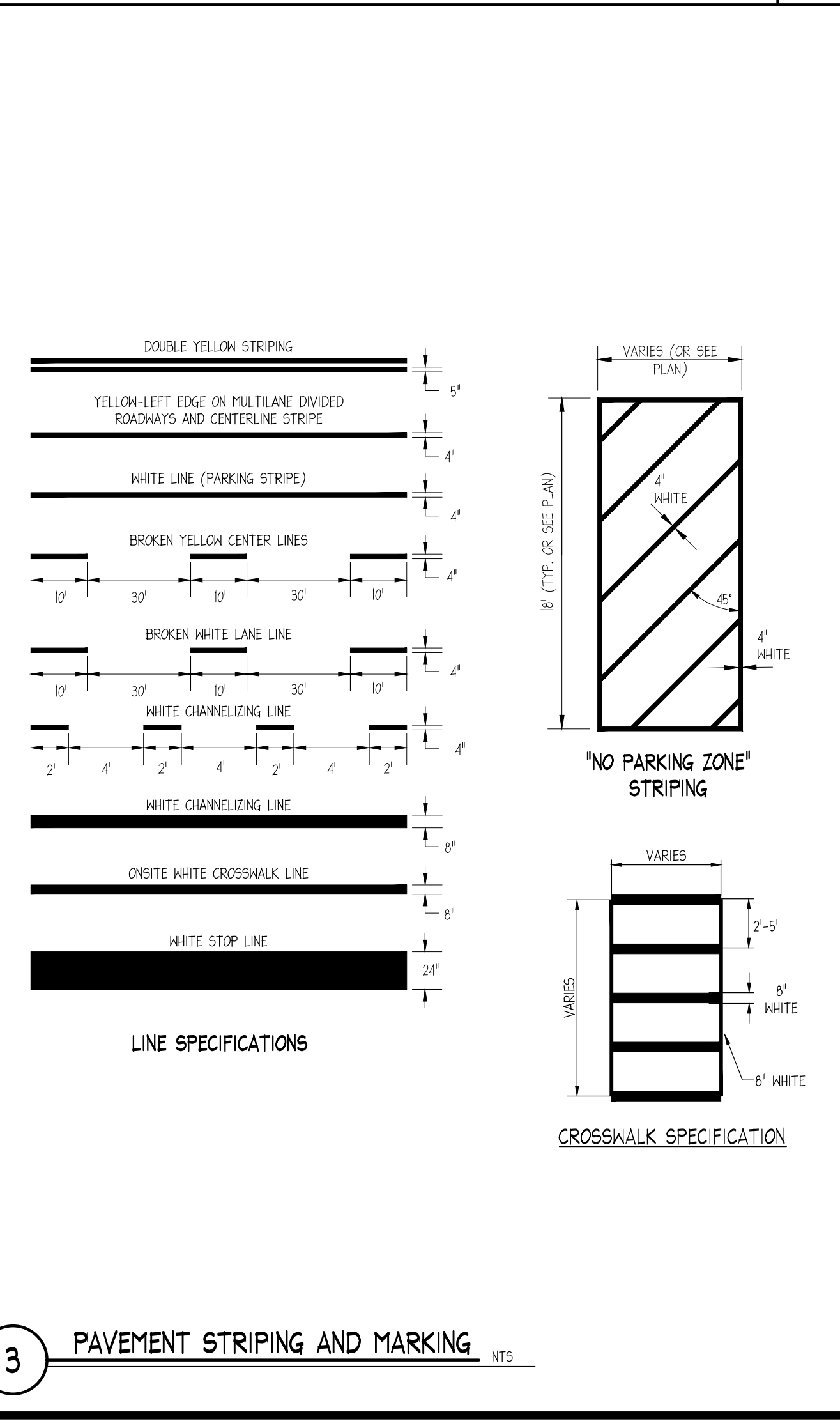
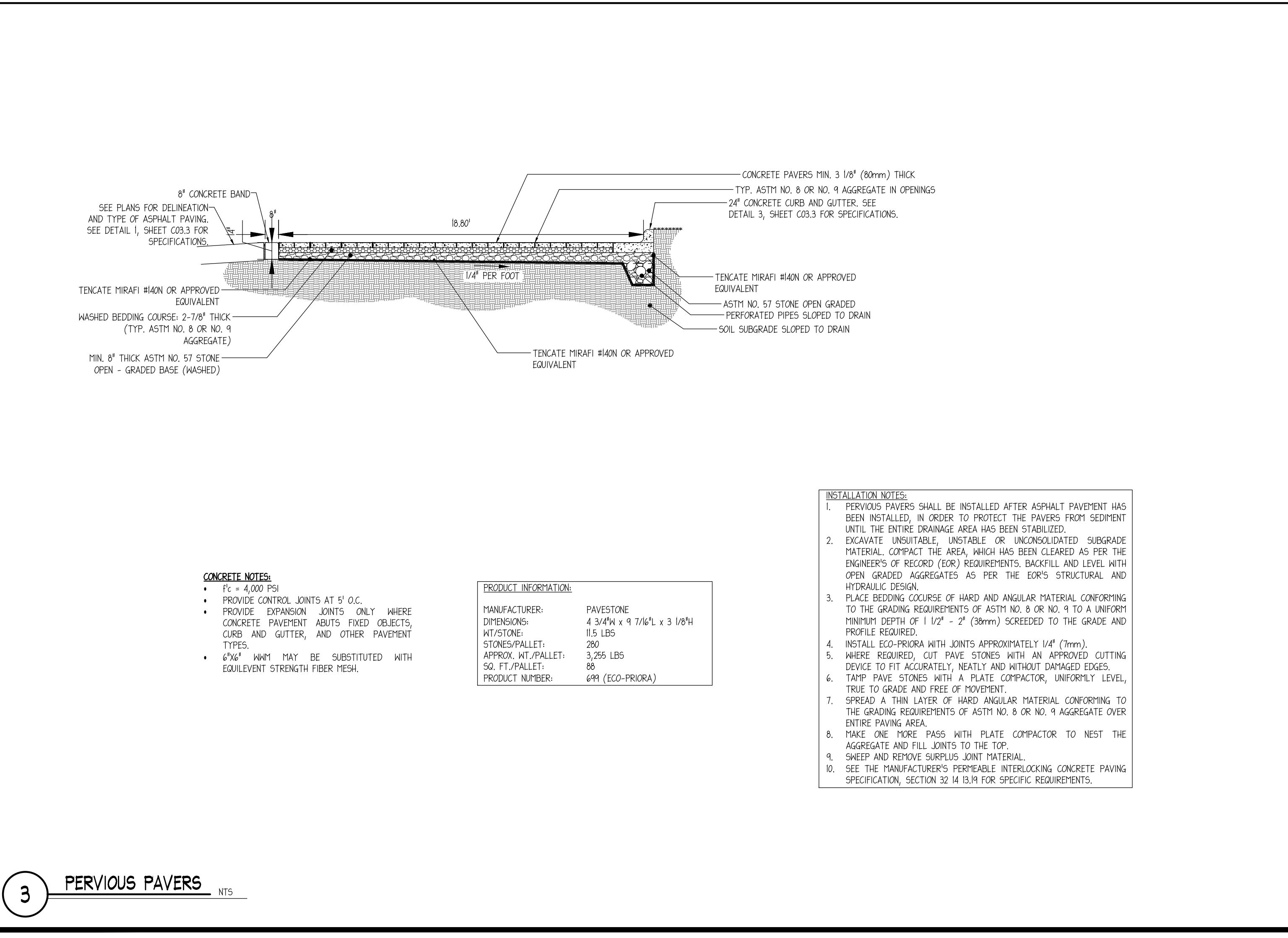
CITY OF WILMINGTON
NORTH CAROLINA
CITY OF WILMINGTON ENGINEERING
PO BOX 1810
WILMINGTON, NC 28402
(910) 341-7807

SD 15-03

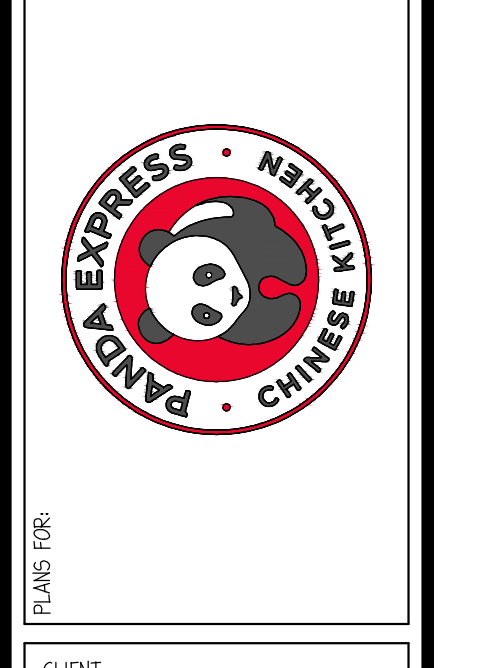


1 SITE SIGNAGE NT5

2 PAVEMENT MARKINGS AND SYMBOLS NT5



PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSEMEAD, CALIFORNIA 91770
PHONE: 626-799-0898

REVISION HISTORY

NO.	DATE	DESCRIPTION

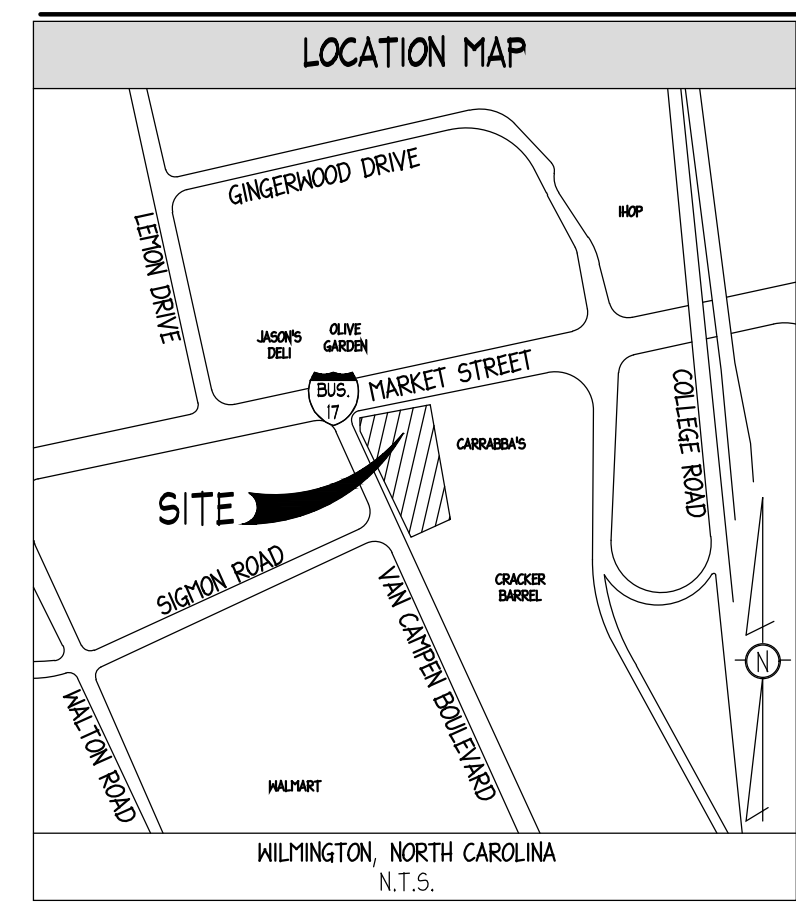
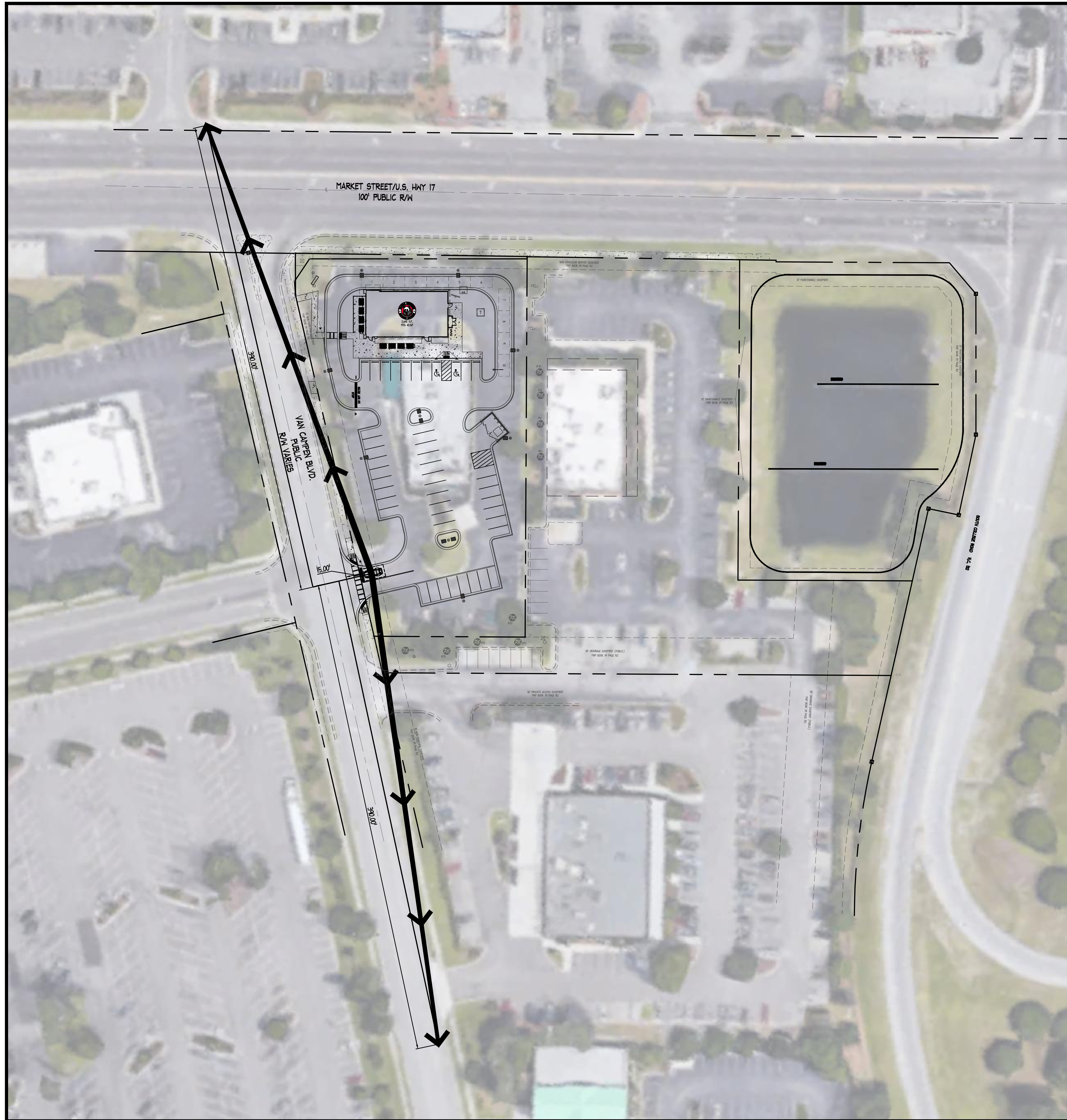
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PROJ # 180058
DWG NAME 180058 C03.DWG
ISSUE DATE 11/02/2018
PROJ TGR, LLC

HARDSCAPE DETAILS IV

C03.5
SHEET NUMBER

ISSUE FOR PERMIT



35 MPH SPEED LIMIT WAS ASSUMED FOR VAN CAMPEN BLVD.

ARTERIAL SPEED (MPH)	SIGHT DISTANCE (FEET)*						
	2 Lane SDL=SDR	3 Lanes SDL	3 Lanes SDR	4 Lanes SDL	4 Lanes SDR	5 Lanes SDL	5 Lanes SDR
30	335	355	310	375	335	400	355
35	390	415	365	440	390	465	415
40	445	475	415	500	445	530	475
45	500	530	465	565	500	600	530
50	555	590	515	625	555	665	590
55	610	650	570	690	610	730	650
60	665	710	620	750	665	795	710
65	720	765	670	815	720	860	765

Table 3-4 Intersection Sight Distance Requirements

The sight distance criteria are based on the time required for a vehicle to make a left turn from a stop-controlled approach to the State Highway (AASHTO Case B1). The time to execute the maneuver is based on recommendations contained in NCHRP Report 383, Intersection Sight Distance. A time gap of 7.5 seconds is used for calculating the sight distance for a stopped vehicle making a left turn onto a two-lane highway with no median and grades 3 percent or less. The time gap is decreased by 1.0 seconds for right-turn maneuvers without undue interference with major road-traffic. The time is increased by 0.5 seconds for each additional lane to be crossed.

The sight distances given in Table 3-4 are for undivided highways. If the highway is divided, the effect of the median should be considered in determining the required sight distance. Based on the conditions, it may be feasible for the crossing maneuver to be done in two stages with a stop in the median. However, the intersection should only be treated in this manner if the signing and marking is accordingly provided. Otherwise, the sight distance requirements should be increased to account for the additional width that must be crossed. See AASHTO Green Book, Chapter 9 Intersections, for adjustments due to grades greater than 3% and design vehicles other than passenger cars. Sight lines in medians cannot be obstructed with tall vegetation full to the ground to allow drivers time to anticipate movement of pedestrians and other drivers.

CITY OF WILMINGTON NOTES

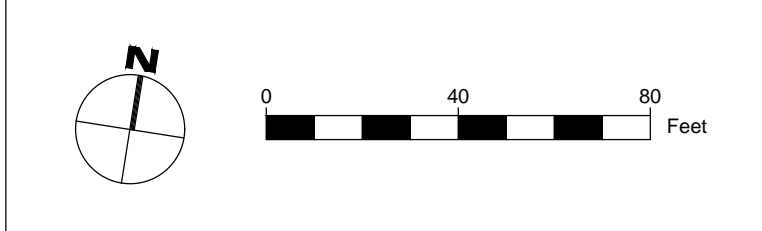
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND PER DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- ANY BROKEN OR MISSING SIDEWALK PANELS WILL BE REPLACED.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.
- THE EXISTING DRIVEWAY WILL BE CLOSED DURING CONSTRUCTION BUT REOPENED AFTER CONSTRUCTION.

NO CONSERVATION RESOURCES OR RARE/ENDANGERED SPECIES ARE ASSOCIATED WITH THE THE SITE IN ACCORDANCE WITH THE NORTH CAROLINA WILDLIFE RESOURCES COMMISSION.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
CLAY WORTHY
602-931-6540



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14491 N DALE HENRY HWY
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TAMPA, FL 33618
813.367.0084
INGENIUM@INGENIUMTEAM.COM



PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:
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1683 WALNUT GROVE AVENUE
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PHONE: 626-799-9898

REVISION HISTORY

NO.	DATE	DESCRIPTION
1	11/02/2018	ISSUE FOR PERMIT

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PROJ # | 180058
DWG NAME | 180058_C03.DWG
ISSUE DATE | 11/02/2018
PROJ TGR | LLC

SIGHT DISTANCES
C03.6
SHEET NUMBER

ISSUE FOR PERMIT

GENERAL UTILITY NOTES

- SEE SHEET C01 FOR GENERAL NOTES.
- SEE MEP PLANS FOR CONTINUATION OF ALL UTILITIES INTO BUILDING.
- SANITARY LATERALS SHALL HAVE A MINIMUM FALL OF 1.00%.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND THEIR LOCATIONS AND ELEVATIONS PRIOR TO STARTING CONSTRUCTION.
- THE FINAL LOCATION OF FIRE HYDRANTS, VALVES, WATER LINES, BACKFLOW PREVENTERS, ETC. SHALL BE DETERMINED DURING CONSTRUCTION. NOTIFY THE ENGINEER OF ANY CHANGES TO LOCATION OR CONFIGURATION. NFPA CODES SHALL BE ADHERED TO.
- THE CONTRACTOR SHALL CONTACT PUBLIC UTILITIES INSPECTIONS AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ALL WORK TO BE DONE IN STRICT ACCORDANCE WITH LOCAL GOVERNING CODES.
- UTILITY CONDUIT MATERIAL FOR ELECTRIC, TELEPHONE, AND CABLE SHALL BE INSTALLED PER UTILITY PROVIDER SPECIFICATIONS.

UTILITY LEGEND

UTILITY	LINE TYPE/SYMBOL	REFERENCE
DOMESTIC WATER LINE	— DW — DW —	2" PVC
FIRE WATER LINE	— FW — FW —	N/A
BUILDING FIRE SPRINKLER LINE	— FWS — FWS —	N/A
IRRIGATION WATER LINE	— IRR — IRR —	1.5" PVC
DOMESTIC WATER METER (W/M)		EXISTING
IRRIGATION METER (IRR)		EXISTING
BACKFLOW PREVENTER (RPZ)		EXISTING
FIRE VAULT (DDC)		N/A
DC BACKFLOW PREVENTER		N/A
WATER TAP OR TEE		EXISTING
GATE VALVE (GV)		N/A
THRUST BLOCK (TB)		N/A
FIRE HYDRANT (FH)		N/A
FIRE DEPARTMENT CONNECTION (FDC)		N/A
SANITARY SEWER (SS)	— SS — SS —	4" AND 6" PVC
SANITARY MANHOLE (SOPH)		N/A
GENERAL CLEAN OUT (CO)		DETAIL 1, SHEET C04.1
SAMPLING MANHOLE		N/A
SANITARY STRUCTURE NUMBER		SEE PLANS
UNDERGROUND ELECTRIC LINE-PRIMARY	— UGE-P — UGE-P —	(1) 4" GRAY SCH. 40 PVC CONDUIT
UNDERGROUND ELECTRIC LINE-SECONDARY	— UGE-S — UGE-S —	(2) 4" PVC CONDUIT
POST INDICATOR VALVE		N/A
SITE LIGHTING POLE		SEE PLANS (BY OTHERS)
TRANSFORMER PAD		DETAIL 4, SHEET C03.2
METER/CT PEDESTAL		EXISTING
UNDERGROUND TELEPHONE LINE	— UGT — UGT —	(1) 4" CONDUIT
GENERAL UTILITY CONDUIT	— GU — GU —	(2) 4" CONDUIT
GAS LINE	— G — G —	TO BE INSTALLED BY UTILITY
GAS METERS		TO BE INSTALLED BY UTILITY

• ALL UTILITIES SHALL BE INSTALLED ACCORDING TO UTILITY PROVIDERS AND JURISDICTION STANDARDS AND SPECIFICATIONS.

CITY OF WILMINGTON NOTES

- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- WATER AND SEWER SERVICE SHALL MEET CITY PUBLIC UTILITY AUTHORITY (CPUA) DETAILS AND SPECIFICATIONS.
- PROJECT SHALL COMPLY WITH CPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR MORE INFORMATION.
- IF THE CONTRACTOR DESIRES CPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CPUA WATER SHALL COMPLY WITH THE CPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 910-343-3910 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USEFCOR OR ASSE.
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES, AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- ALL UTILITIES THAT SERVE THE SITE WILL BE UNDERGROUND.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

WATER AND SEWER CAPACITY NEEDS

- WATER (CURRENT USE): 3,500 GPD
- WATER (PROPOSED USE): 2,900 GPD
- SEWER (CURRENT USE): 3,500 GPD
- SEWER (PROPOSED USE): 2,900 GPD

NO CONSERVATION RESOURCES OR RARE/ENDANGERED SPECIES ARE ASSOCIATED WITH THE SITE IN ACCORDANCE WITH THE NORTH CAROLINA WILDLIFE RESOURCES COMMISSION.



CONTRACTOR SHALL COORDINATE AND VERIFY LOCATION OF ALL SIGNAGE WITH OWNER PRIOR TO CONSTRUCTION.

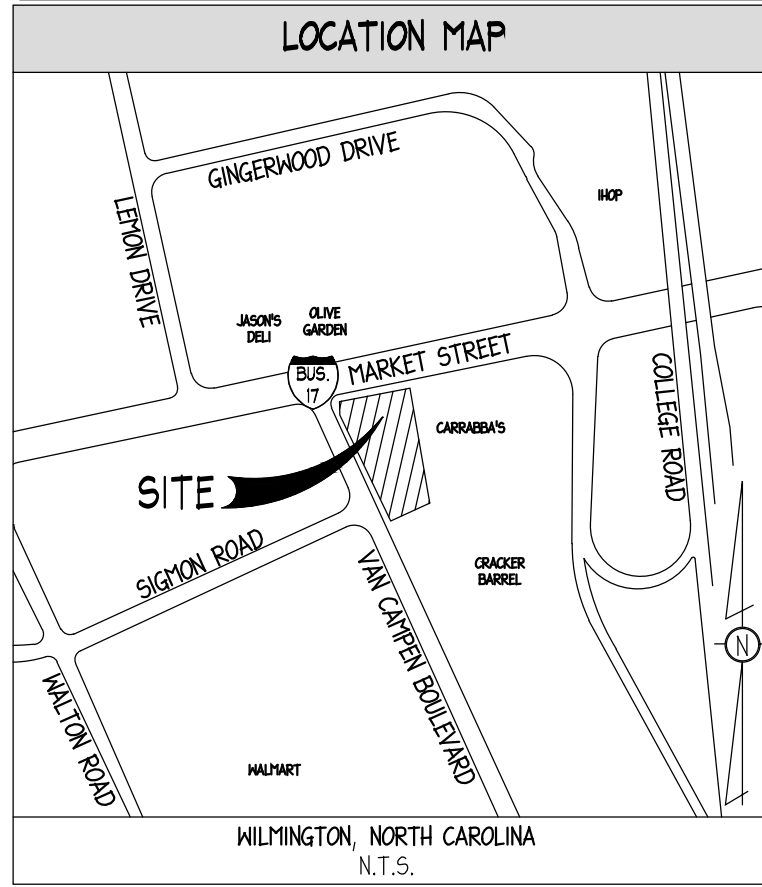
CONTRACTOR SHALL COORDINATE AND ADJUST LOCATION OF LOOP DETECTORS TO AVOID UTILITY CONFLICTS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL INSTALL GENERAL UTILITY CONDUITS TO PLANTERS AROUND BUILDING AND PATIO. SEE ARCHITECTURAL/MEP PLANS FOR CONTINUATION.

CONTRACTOR SHALL PROTECT ALL ITEMS OUTSIDE LIMITS OF CONSTRUCTION UNLESS OTHERWISE NOTED IN THE CONSTRUCTION PLANS OR SPECIFICATIONS.

CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES (LOCATIONS AND ELEVATIONS) PRIOR TO STARTING CONSTRUCTION AND ALERT ENGINEER TO ANY DISCREPANCIES IMMEDIATELY.

24-HOUR CONTACT:
CLAY WORTHY
602-431-6540



UTILITY INFORMATION

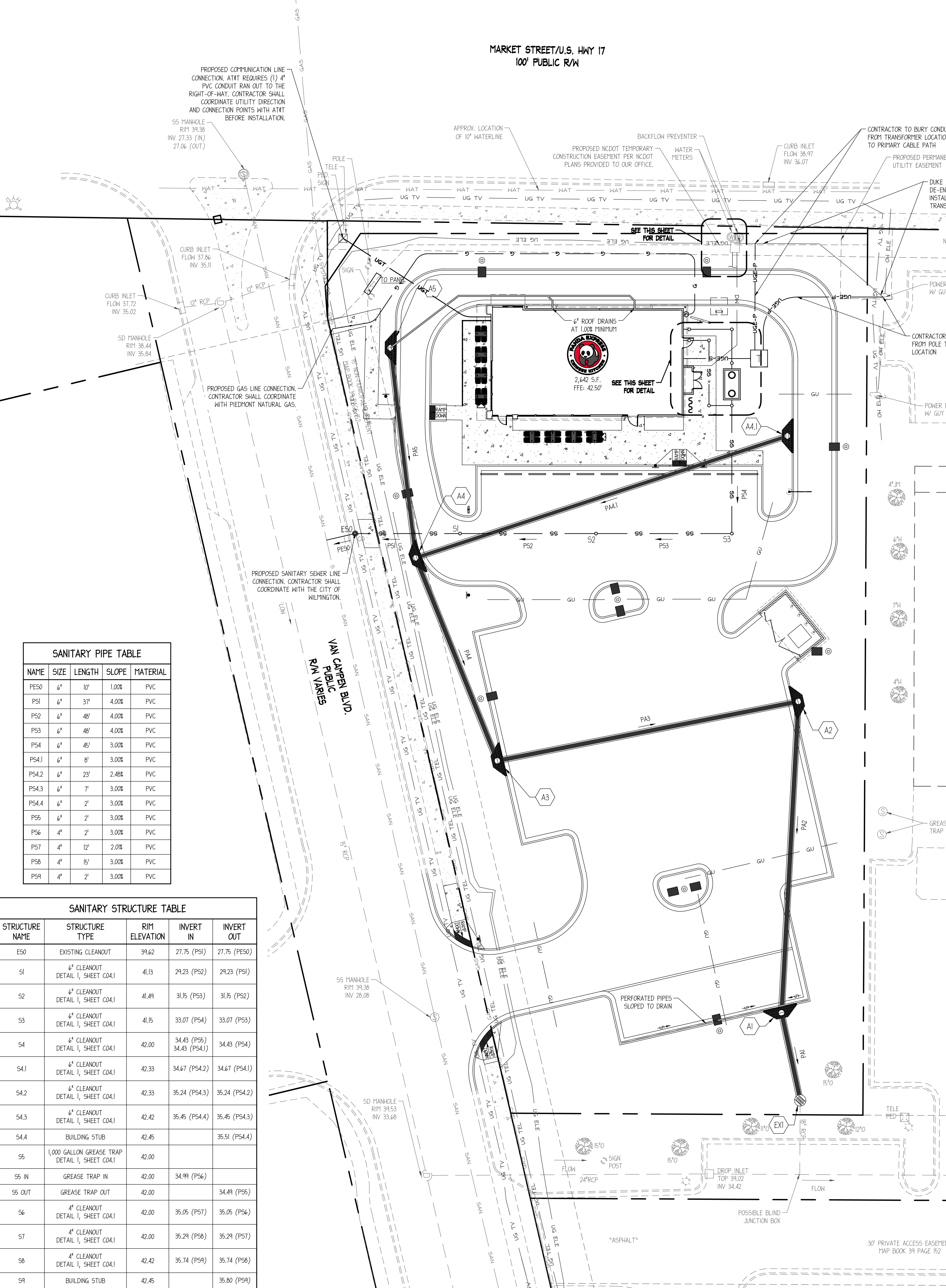
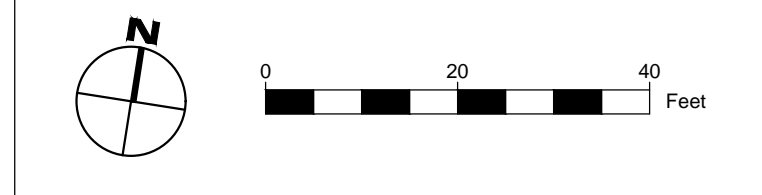
	WATER			ADDITIONAL NOTES
	GC	SELLER/DEVELOPER	UTILITY	
LINE EXTENSION TO PROPERTY LINE	•	•	•	EXISTING
SPRING FROM PROPERTY LINE TO BUILDING	•	•	•	EXISTING
TAPPING THE MAIN	•	•	•	EXISTING
WATER VAULT	•	•	•	NOT REQUIRED
WATER (METER) PIT	•	•	•	EXISTING
DOMESTIC METER	•	•	•	EXISTING
FIRE METER	•	•	•	NOT REQUIRED
IRRIGATION METER	•	•	•	EXISTING
DOMESTIC BFP	•	•	•	EXISTING
FIRE BFP	•	•	•	NOT REQUIRED
IRRIGATION BFP	•	•	•	EXISTING
OBTAINING EASEMENTS	•	•	•	
OBTAINING ROW WORK PERMITS	•	•	•	

	SANITARY SEWER			ADDITIONAL NOTES
	GC	SELLER/DEVELOPER	UTILITY	
TAPPING OF THE MAIN	•	•	•	EXISTING
LINE EXTENSION SERVICE LATERAL (INSIDE PROPERTY)	•	•	•	N/A
OBTAINING EASEMENTS	•	•	•	
OBTAINING ROW PERMIT	•	•	•	

	ELECTRIC			ADDITIONAL NOTES
	GC	SELLER/DEVELOPER	UTILITY	
PRIMARY CONDUIT	•	•	•	
PRIMARY CABLE	•	•	•	
PRIMARY FINAL CONNECTION	•	•	•	
TRANSFORMER	•	•	•	
TRANSFORMER PAD	•	•	•	
POLE	•	•	•	EXISTING
SECONDARY CABLE	•	•	•	
SECONDARY CONDUIT	•	•	•	
SECONDARY FINAL CONNECTION	•	•	•	
METER	•	•	•	
CT CABINET	•	•	•	
CT METER CONDUIT	•	•	•	
SOCKET	•	•	•	
OBTAINING EASEMENTS	•	•	•	
ROW WORK PERMITS	•	•	•	

	TELEPHONE			ADDITIONAL NOTES
	GC	SELLER/DEVELOPER	UTILITY	
CONDUIT	•	•	•	
TRENCH & BACKFILL	•	•	•	
CABLE & WIRE	•	•	•	
OBTAINING EASEMENTS	•	•	•	
OBTAINING ROW WORK PERMITS	•	•	•	

	GAS			ADDITIONAL NOTES
	GC	SELLER/DEVELOPER	UTILITY	
TAP	•	•	•	
PIPING	•	•	•	
TRENCH AND BACKFILL	•	•	•	
METER	•	•	•	
REGULATOR	•	•	•	
OBTAINING EASEMENTS	•	•	•	
OBTAINING ROW WORK PERMITS	•	•	•	



SANITARY PIPE TABLE

NAME	SIZE	LENGTH	SLOPE	MATERIAL
PS0	6"	10'	1.00%	PVC
PS1	6"	37'	4.00%	PVC
PS2	6"	48'	4.00%	PVC
PS3	6"	48'	4.00%	PVC
PS4	6"	45'	3.00%	PVC
PS4.1	6"	8'	3.00%	PVC
PS4.2	6"	23'	2.48%	PVC
PS4.3	6"	7'	3.00%	PVC
PS4.4	6"	2'	3.00%	PVC
PS5	6"	2'	3.00%	PVC
PS6	4"	2'	3.00%	PVC
PS7	4"	12'	2.01%	PVC
PS8	4"	15'	3.00%	PVC
PS9	4"	2'	3.00%	PVC

SANITARY STRUCTURE TABLE

STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
E50	EXISTING CLEANOUT	39.62	27.75 (PS1)	27.75 (PE50)
S1	6" CLEANOUT DETAIL 1, SHEET C04.1	41.8	29.23 (PS2)	29.23 (PS1)
S2	6" CLEANOUT DETAIL 1, SHEET C04.1	41.49	31.5 (PS3)	31.5 (PS2)
S3	6" CLEANOUT DETAIL 1, SHEET C04.1	41.5	33.07 (PS4)	33.07 (PS3)
S4	6" CLEANOUT DETAIL 1, SHEET C04.1	42.00	34.43 (PS5) 34.43 (PS4.1)	34.43 (PS4)
S4.1	6" CLEANOUT DETAIL 1, SHEET C04.1	42.33	34.67 (PS4.2)	34.67 (PS4.1)
S4.2	6" CLEANOUT DETAIL 1, SHEET C04.1	42.33	35.24 (PS4.3)	35.24 (PS4.2)
S4.3	6" CLEANOUT DETAIL 1, SHEET C04.1	42.42	35.45 (PS4.4)	35.45 (PS4.3)
S4.4	BUILDING STUB	42.45	35.51 (PS4.4)	
S5	1,000 GALLON GREASE TRAP DETAIL 1, SHEET C04.1	42.00		
S5 IN	GREASE TRAP IN	42.00	34.99 (PS6)	
S5 OUT	GREASE TRAP OUT	42.00		34.91 (PS5)
S6	4" CLEANOUT DETAIL 1, SHEET C04.1	42.00	35.05 (PS7)	35.05 (PS6)
S7	4" CLEANOUT DETAIL 1, SHEET C04.1	42.00	35.29 (PS8)	35.29 (PS7)
S8	4" CLEANOUT DETAIL 1, SHEET C04.1	42.42	35.74 (PS9)	35.74 (PS8)
S9	BUILDING STUB	42.45	35.80 (PS9)	



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813.877.0841
WWW.INGENIUMENTERPRISES.COM



PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSEMEAD, CALIFORNIA 91770
PHONE: 626-799-8898

REVISION HISTORY

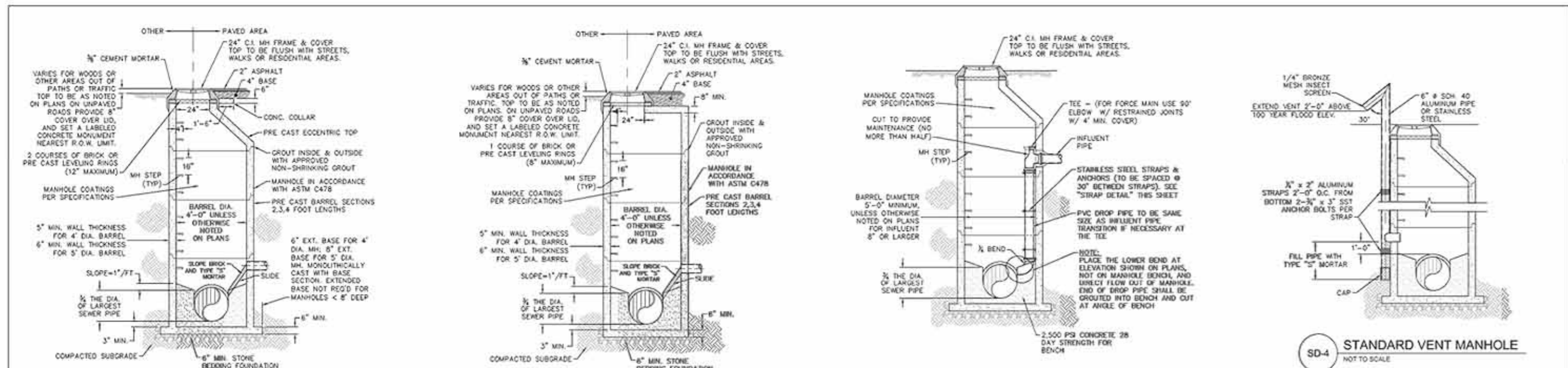
NO.	DESCRIPTION	DATE

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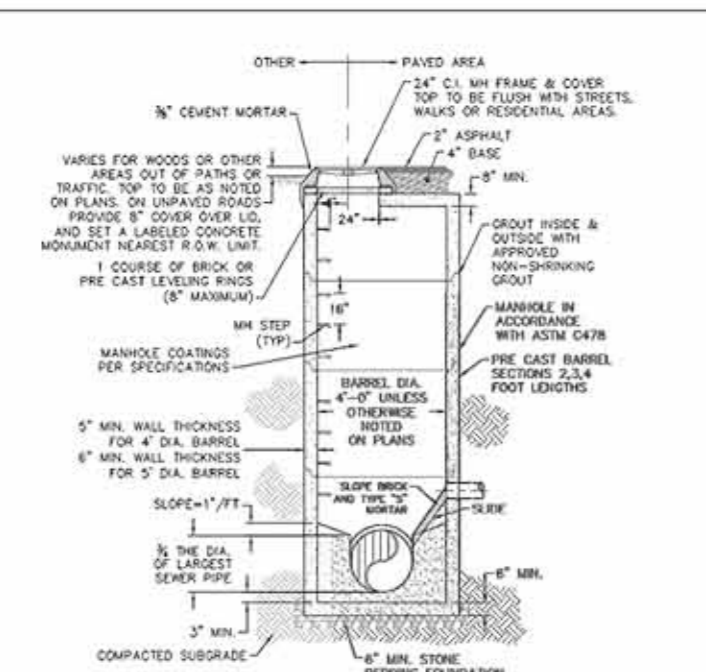
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DWG NAME 180058_C04.DWG
ISSUE DATE 11/02/2018
PROJ PEAR, LLC

UTILITY PLAN
C04.0
SHEET NUMBER

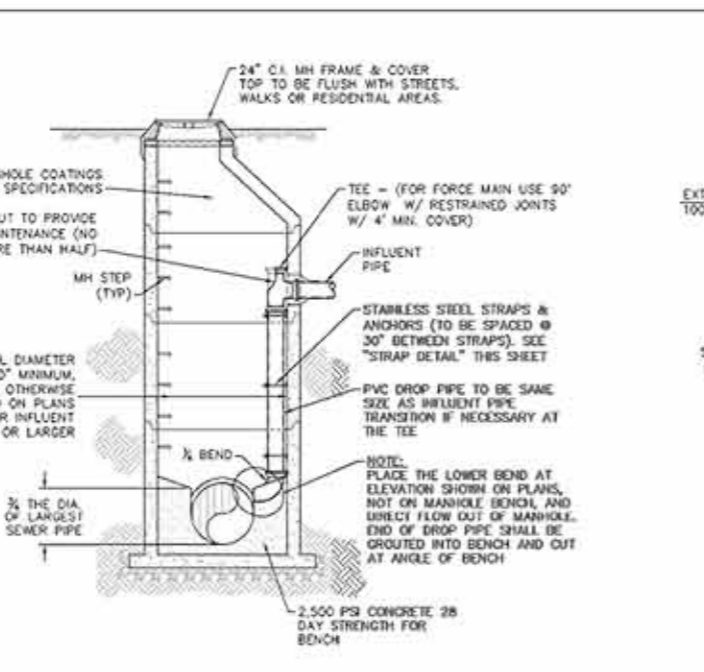
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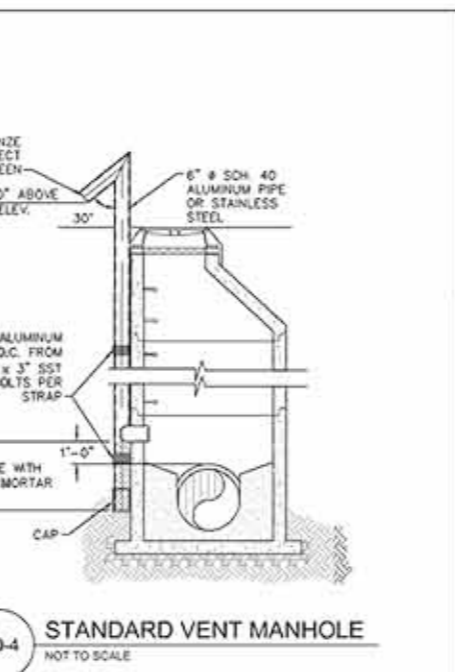
SD-1 PRECAST CONCRETE OFFSET MANHOLE TYPICAL
NOT TO SCALE



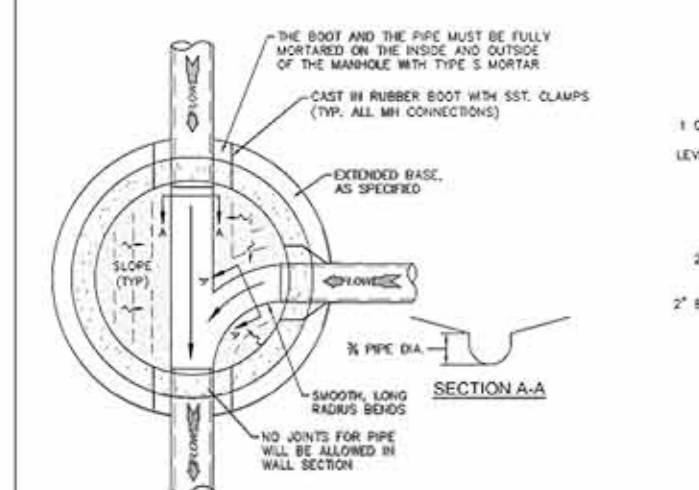
SD-2 PRECAST CONCRETE FLAT TOP MANHOLE TYPICAL
NOT TO SCALE



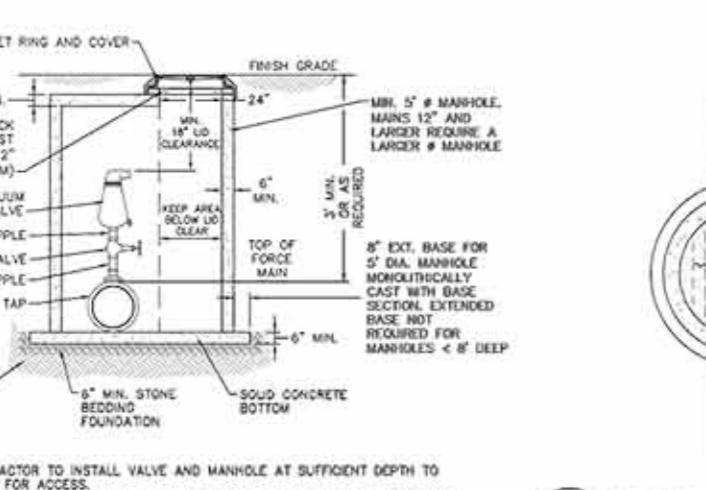
SD-3 DROP MANHOLE
NOT TO SCALE



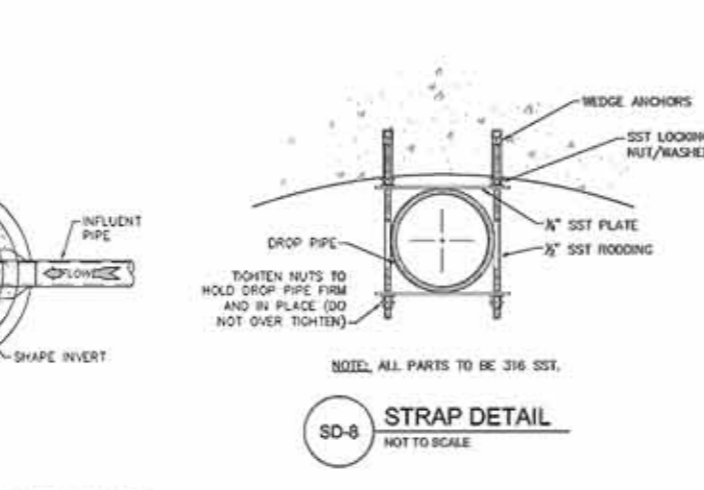
SD-4 STANDARD VENT MANHOLE
NOT TO SCALE



SD-5 MANHOLE FLOOR PLAN
NOT TO SCALE



SD-6 AIR/VACUUM AND AIR RELEASE COMBINATION VALVE
NOT TO SCALE



SD-7 DROP MANHOLE FLOOR PLAN
NOT TO SCALE



SD-8 STRAP DETAIL
NOT TO SCALE

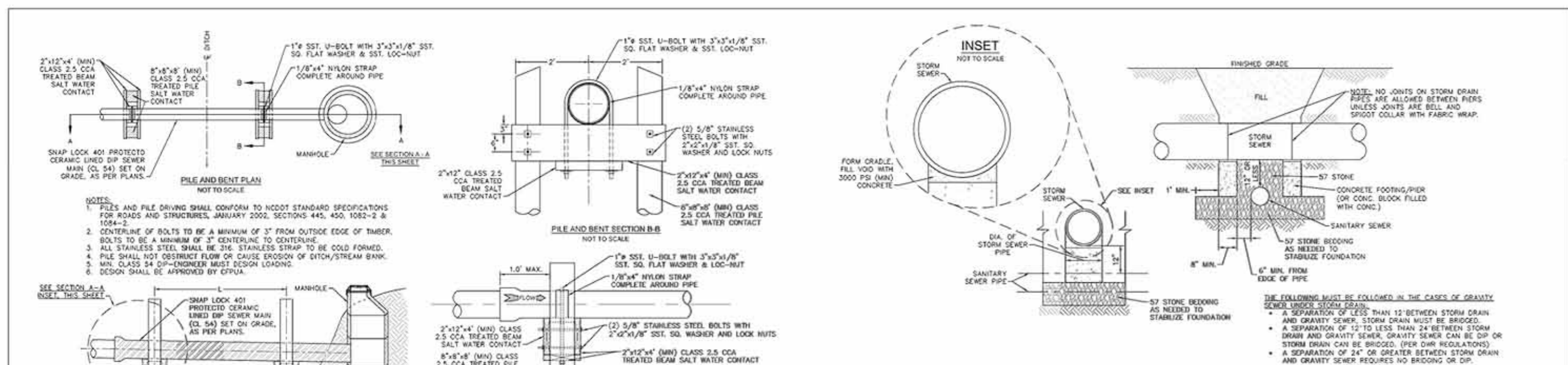
CFPUA SANITARY SEWER

CFPUA PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-4500

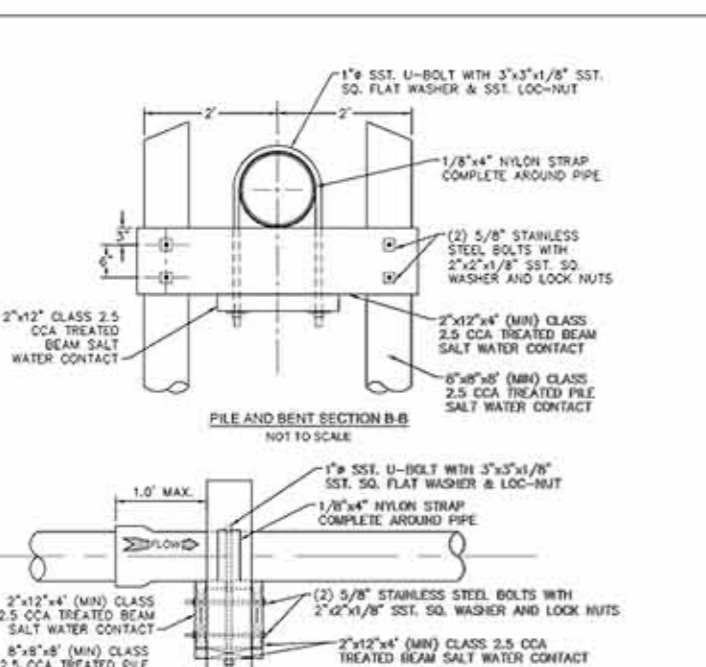
REV	DESCRIPTION	DATE
1	ADD LAYOUT AND AIR RELEASE COMBINATION VALVE REVISION	08/15/18
2	STANDARD SEWER NOT REVISION	08/15/18
3	REVISION CHANGES WITH REFERENCE TO EXISTING SD-19 MANHOLE	08/15/18
4	REVISION MANHOLE DETAIL	08/15/18

STANDARD DETAILS

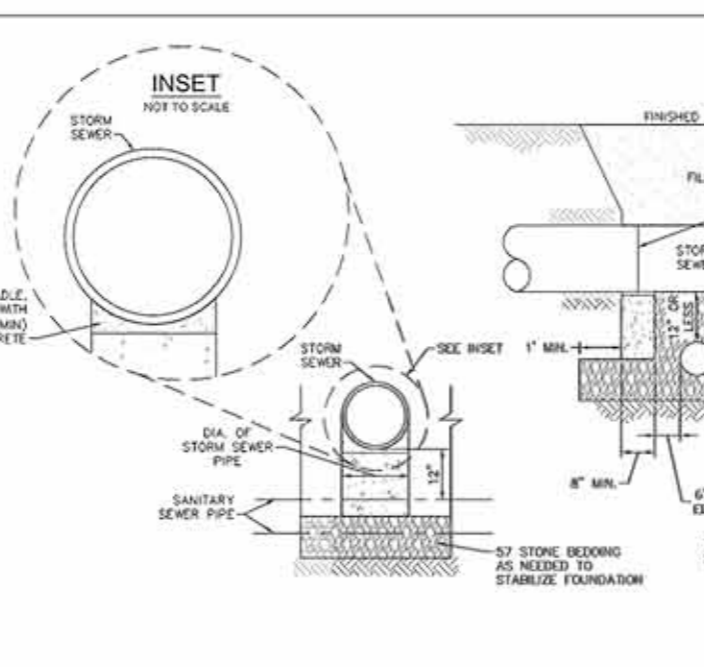
SHEET NO. **SSD-1**



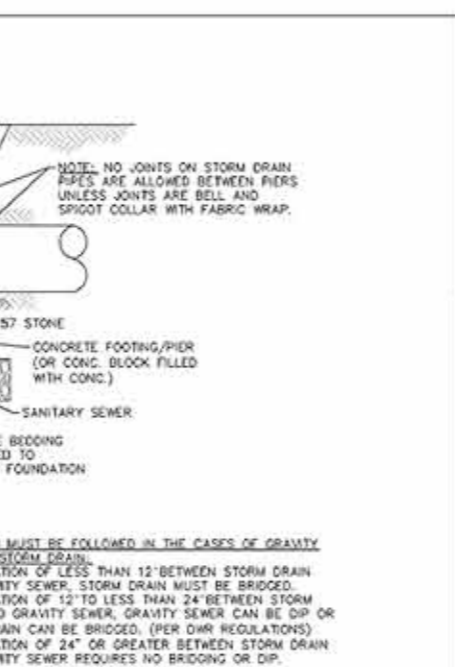
SD-20 PILE AND BENT DETAIL
NOT TO SCALE



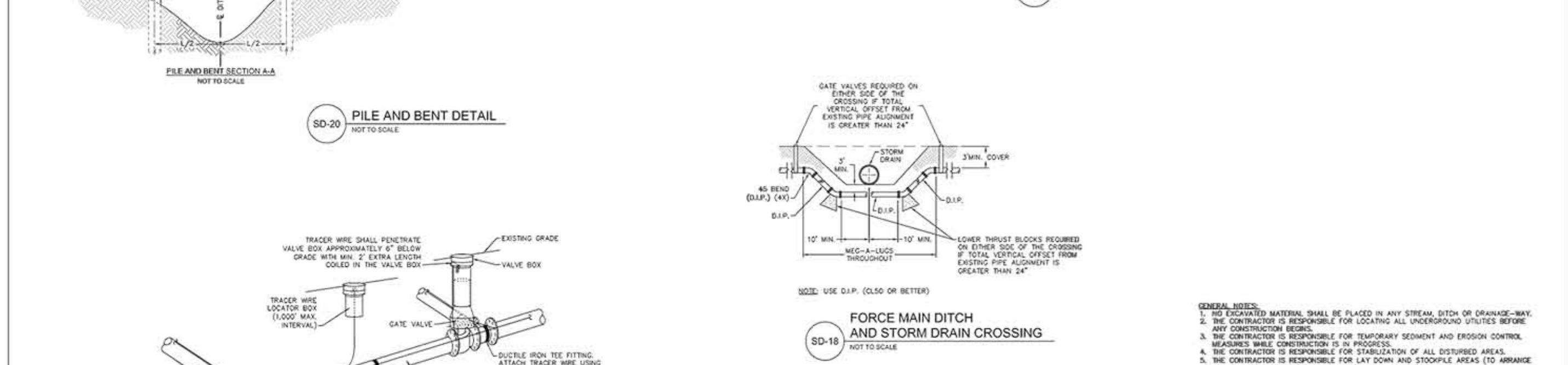
SD-21 TRACER WIRE DETAIL
NOT TO SCALE



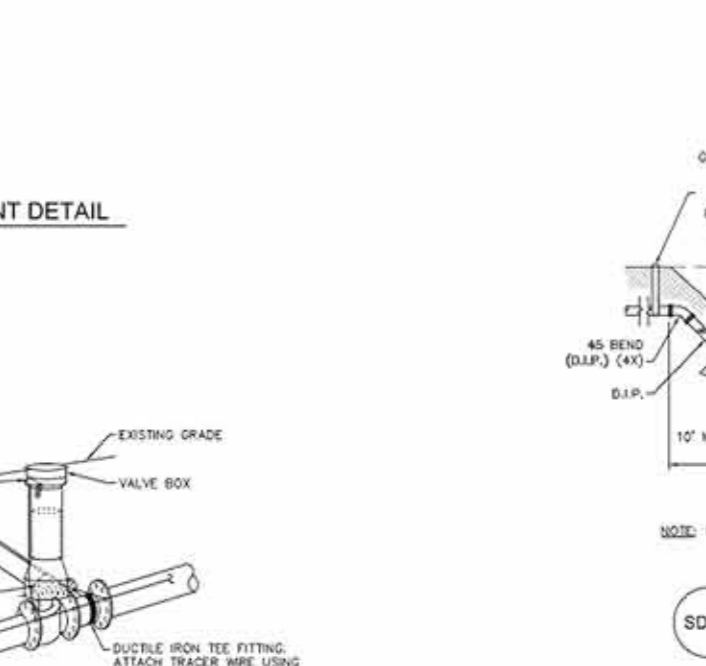
SD-22 FIBERGLASS GREASE INTERCEPTOR
NOT TO SCALE



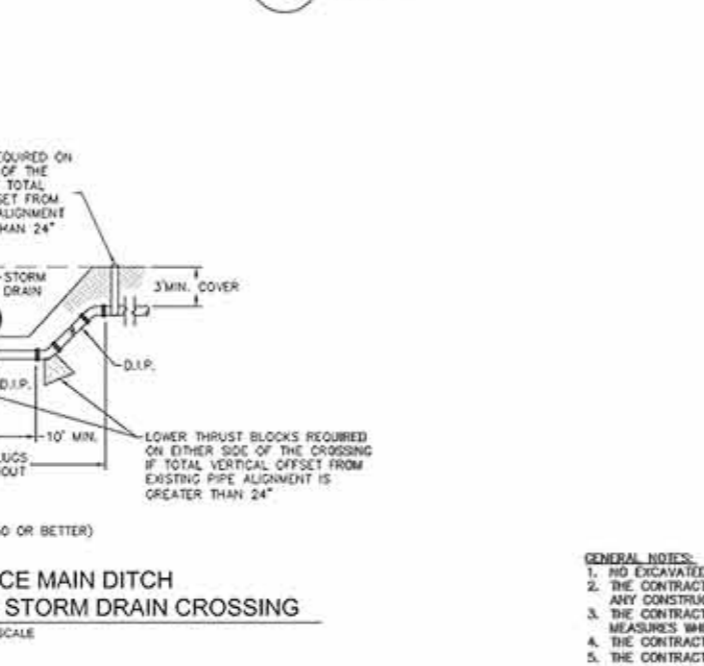
SD-23 CONCRETE GREASE INTERCEPTOR
NOT TO SCALE



SD-24 STRUCTURAL BRIDGING DETAIL FOR STORMWATER OVER GRAVITY SEWER INSTALLATIONS WITH LESS THAN 12" SEPARATION
NOT TO SCALE



SD-25 FORCE MAIN DITCH AND STORM DRAIN CROSSING
NOT TO SCALE



SD-26 FORCE MAIN DITCH AND STORM DRAIN CROSSING
NOT TO SCALE

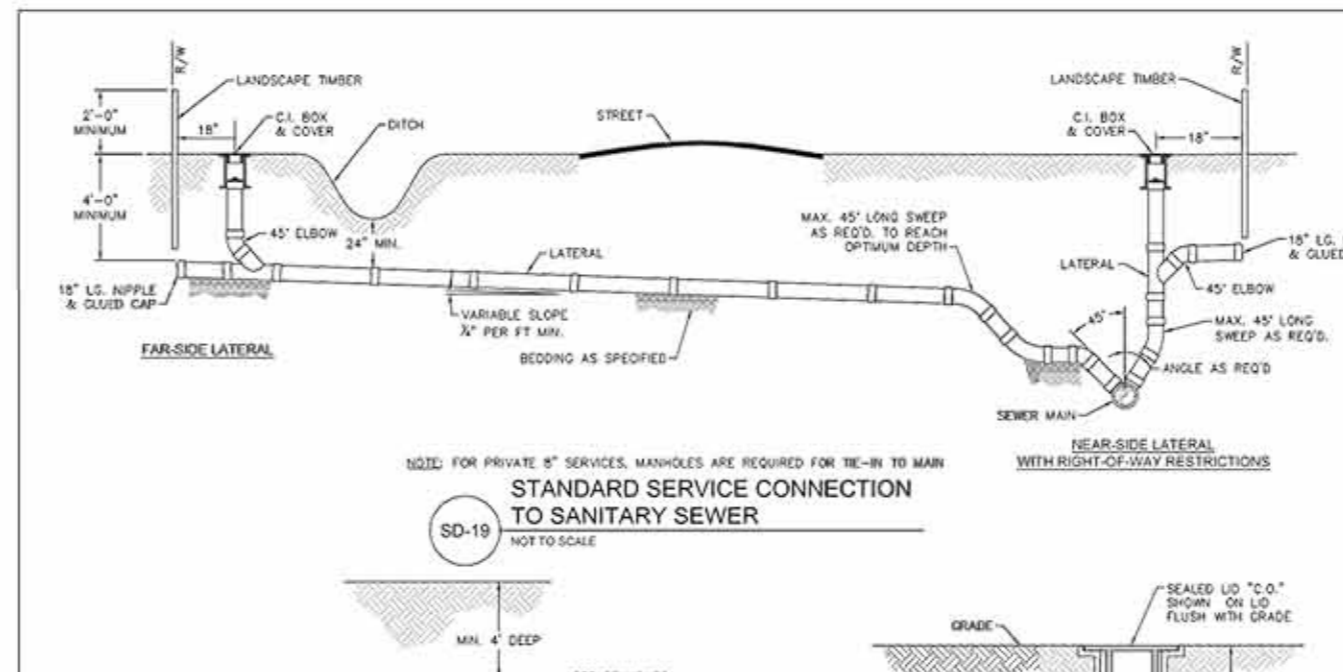
CFPUA SANITARY SEWER

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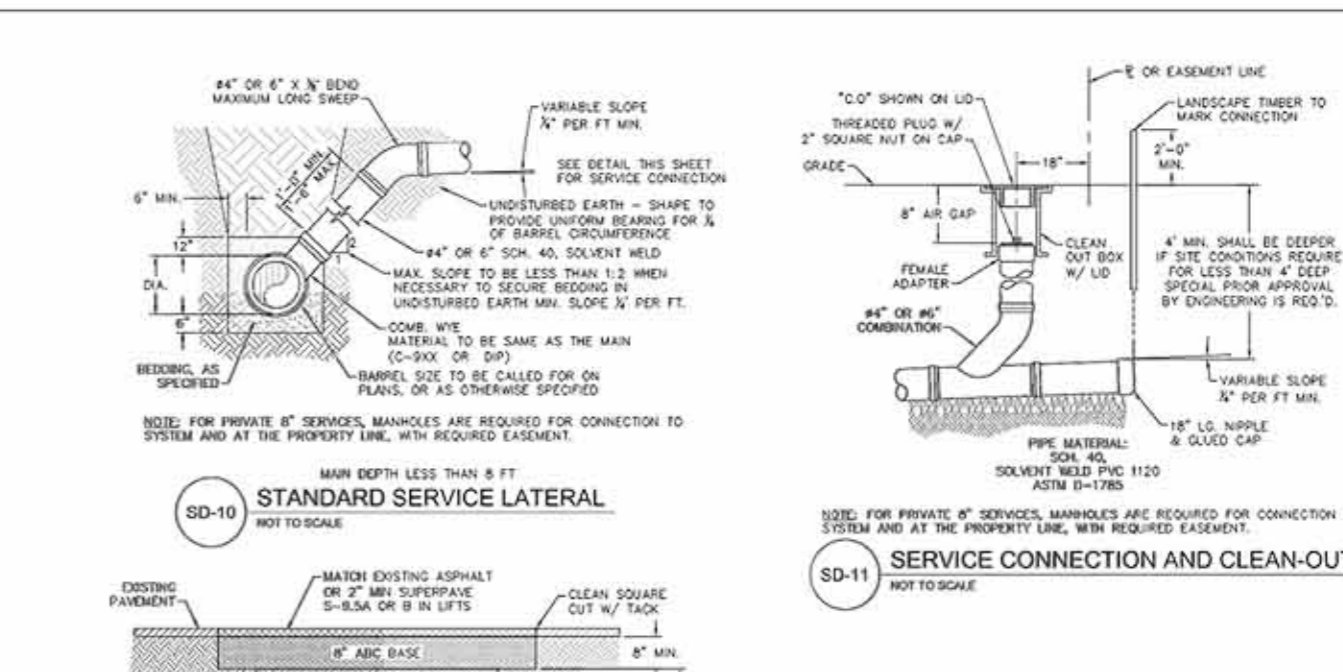
REV	DESCRIPTION	DATE
1	ADD NOTES TO THE STRUCTURAL BRIDGING DETAIL	08/15/18
2	REVISION TRACER WIRE DETAIL	08/15/18
3	REVISION FORCE MAIN Ditch and Storm Drain Crossing Detail	08/15/18

STANDARD DETAILS

SHEET NO. **SSD-3**



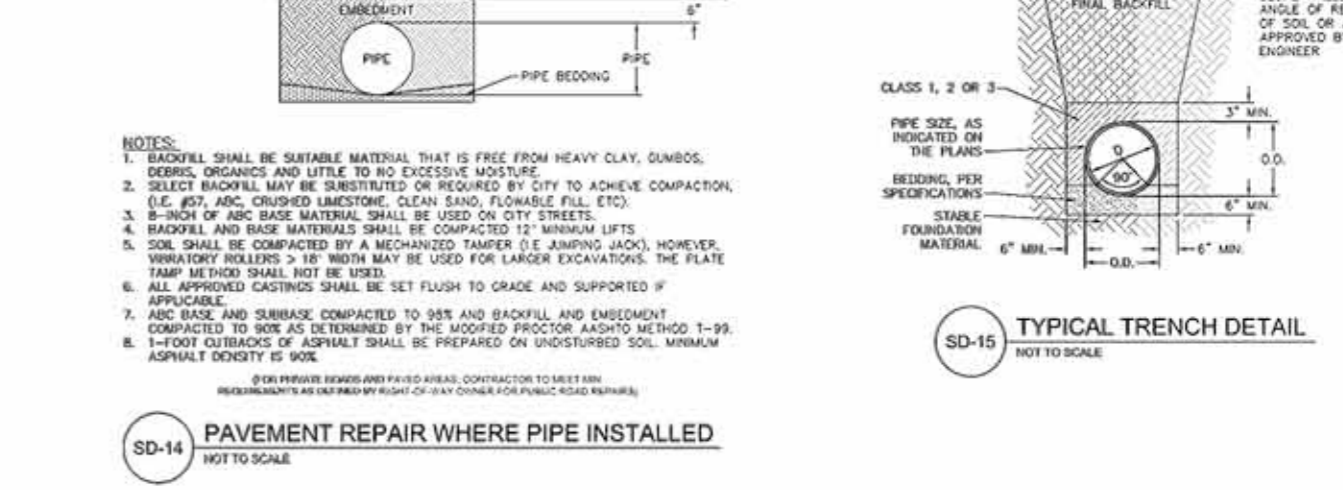
SD-19 STANDARD SERVICE CONNECTION TO SANITARY SEWER
NOT TO SCALE



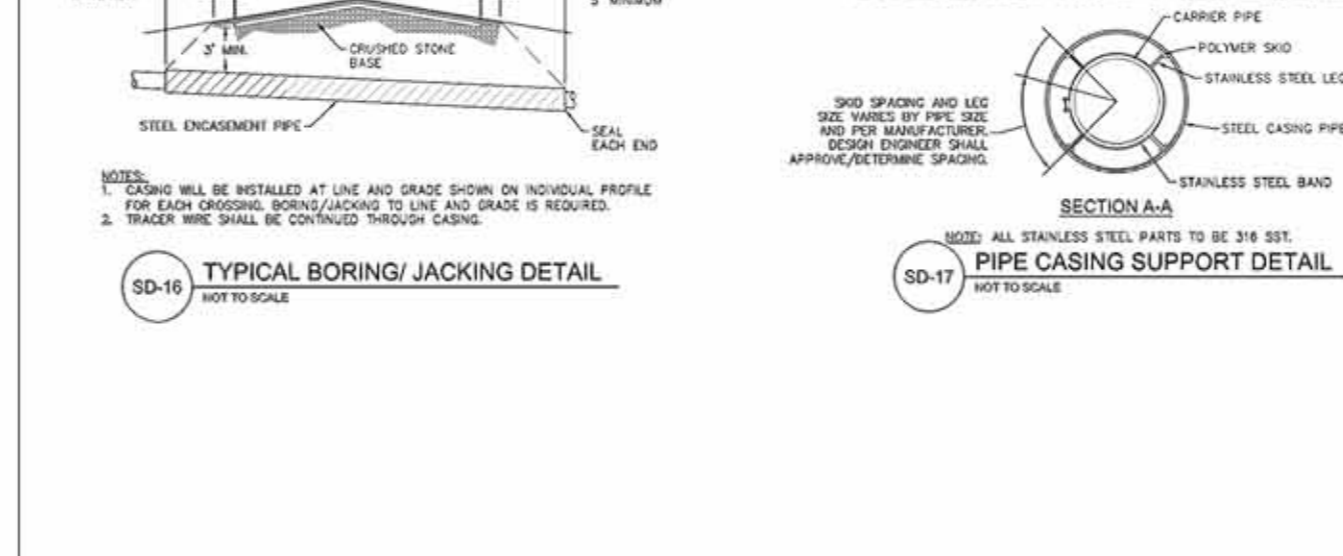
SD-10 STANDARD SERVICE LATERAL
NOT TO SCALE



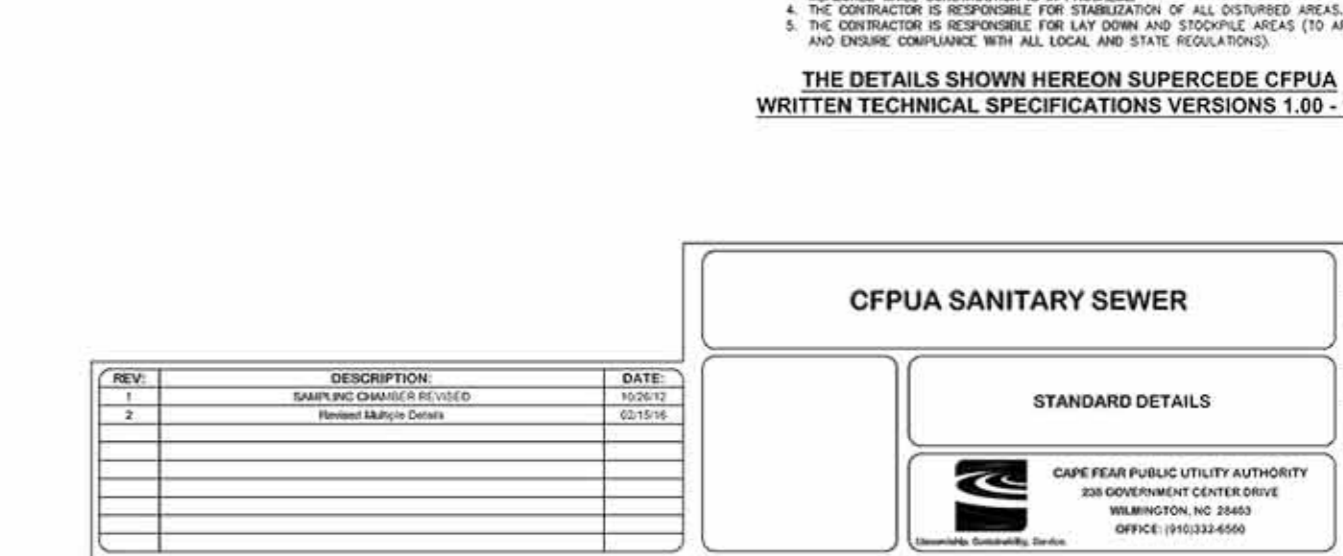
SD-13 SAMPLING CHAMBER
NOT TO SCALE



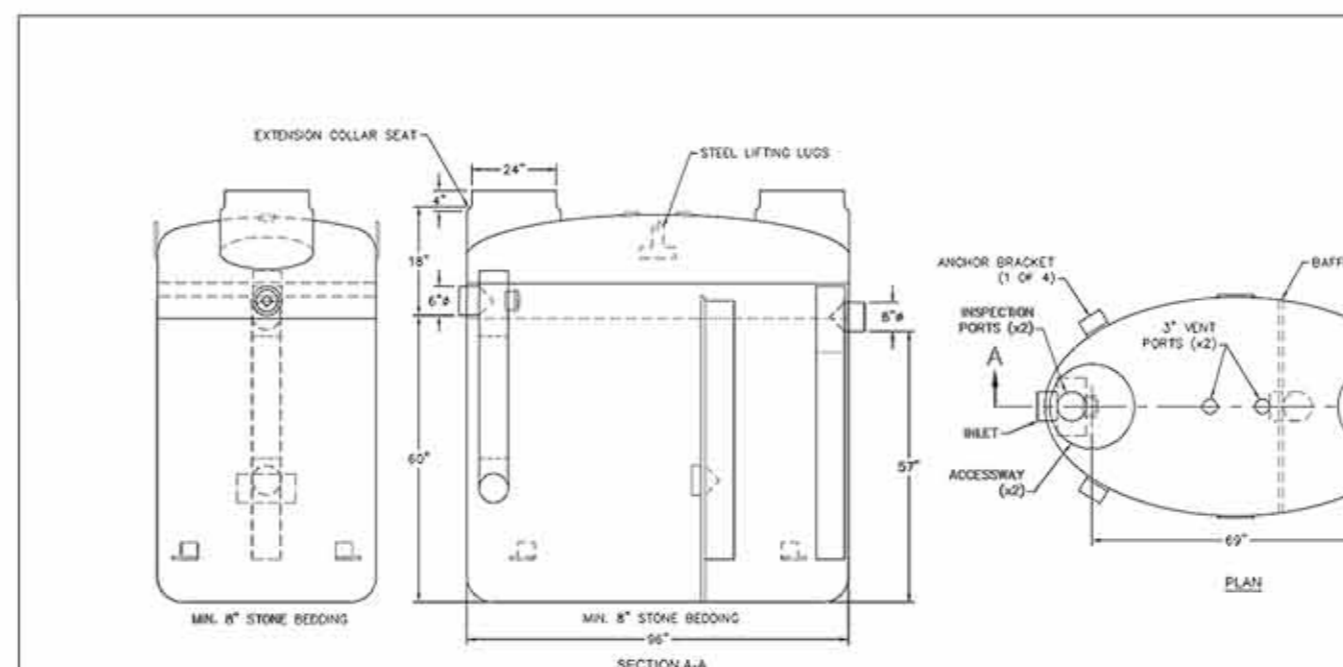
SD-11 SERVICE CONNECTION AND CLEAN-OUT
NOT TO SCALE



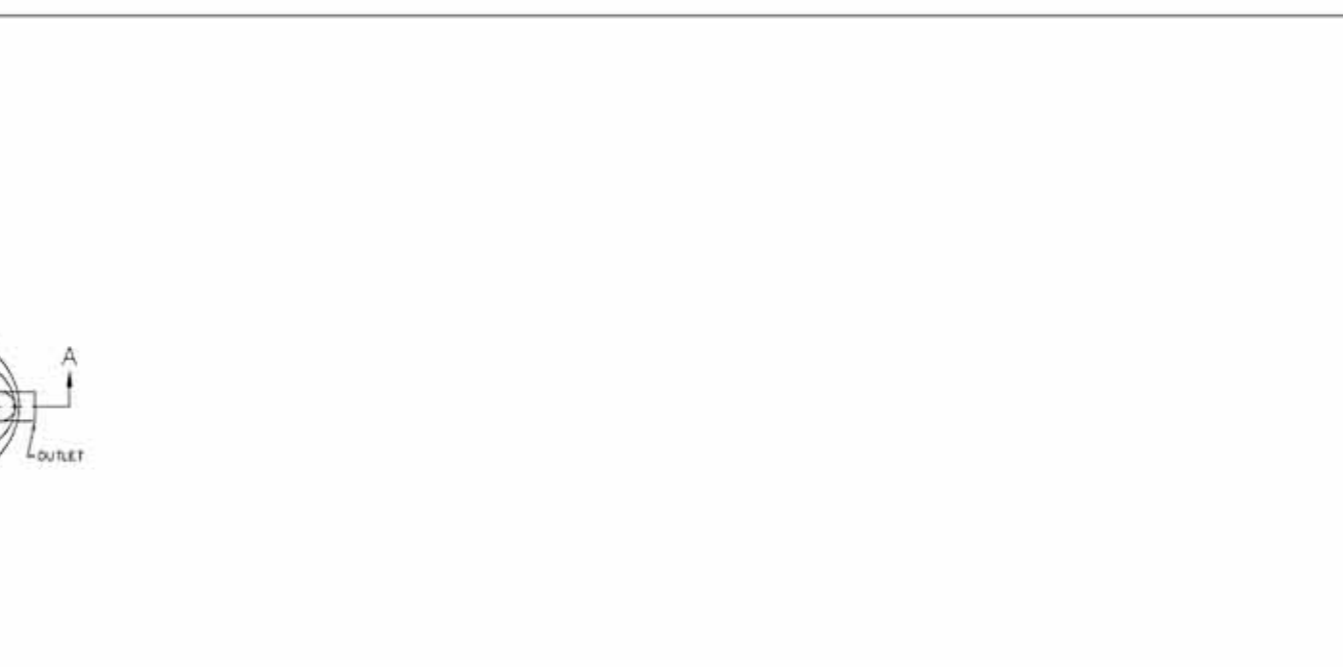
SD-12 DEEP SERVICE LATERAL
NOT TO SCALE



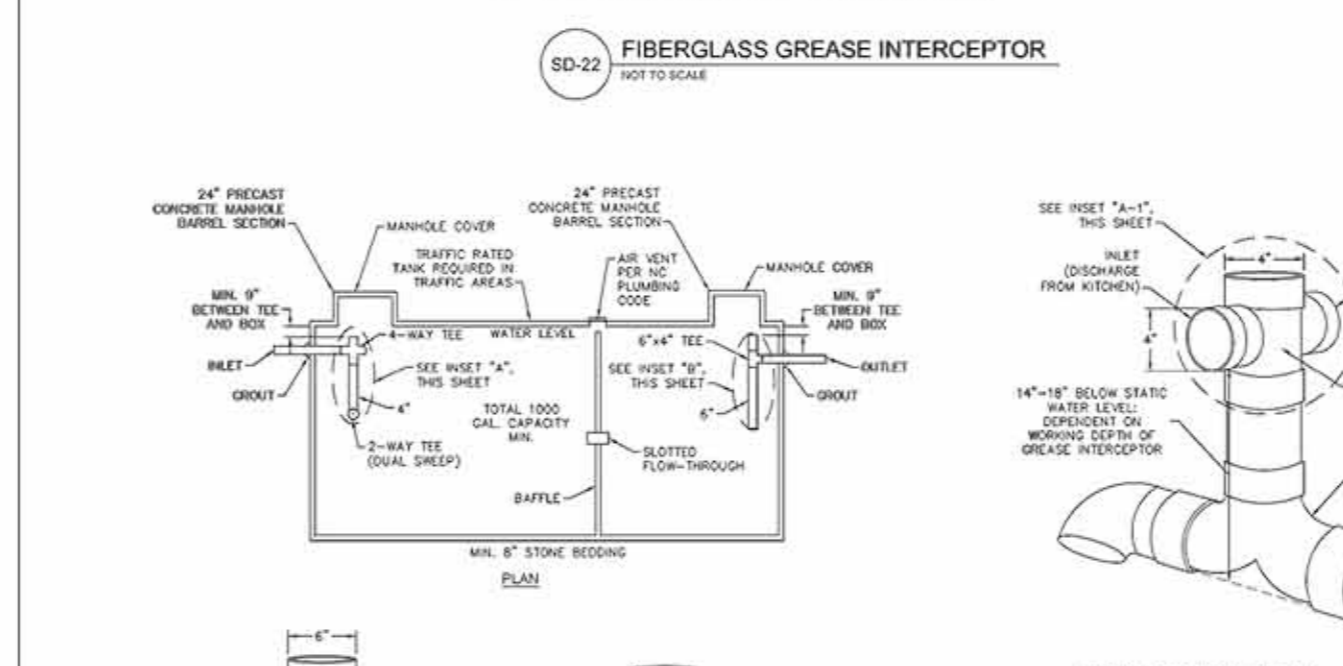
SD-14 PAVEMENT REPAIR WHERE PIPE INSTALLED
NOT TO SCALE



SD-18 TYPICAL BORING/JACKING DETAIL
NOT TO SCALE



SD-17 PIPE CASING SUPPORT DETAIL
NOT TO SCALE



SD-22 FIBERGLASS GREASE INTERCEPTOR
NOT TO SCALE



SD-23 CONCRETE GREASE INTERCEPTOR
NOT TO SCALE

CFPUA SANITARY SEWER

CFPUA PUBLIC UTILITY AUTHORITY
235 GOVERNMENT CENTER DRIVE
WILMINGTON, NC 28403
OFFICE: (910)332-4500

REV	DESCRIPTION	DATE
1	ADD NOTES TO THE STRUCTURAL BRIDGING DETAIL	08/15/18
2	REVISION TRACER WIRE DETAIL	08/15/18
3	REVISION FORCE MAIN Ditch and Storm Drain Crossing Detail	08/15/18

STANDARD DETAILS

SHEET NO. **SSD-3**

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REV	DESCRIPTION	DATE
1	ADD NOTES TO THE STRUCTURAL BRIDGING DETAIL	08/15/18
2	REVISION TRACER WIRE DETAIL	08/15/18
3	REVISION FORCE MAIN Ditch and Storm Drain Crossing Detail	08/15/18

STANDARD DETAILS

SHEET NO. **SSD-3**

ingenium
PLANNING & ENGINEERING

1449 N DALE TERRY HWY
SUITE 250
TAMPA, FL 33608
888.367.0084

Professional Engineer
No. 12118
James D. Neeley
Professional Engineer
No. 12118

PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA

PANDA EXPRESS
CHICKEN
PANDA
CHINESE

CLIENT:
PANDA EXPRESS, INC.
1683 HAZELNUT GROVE AVENUE
ROSEMEAD, CALIFORNIA 91770
PHONE: 626-799-8898

REVISION HISTORY

NO.	DESCRIPTION
1	ADD NOTES TO THE STRUCTURAL BRIDGING DETAIL
2	REVISION TRACER WIRE DETAIL
3	REVISION FORCE MAIN Ditch and Storm Drain Crossing Detail

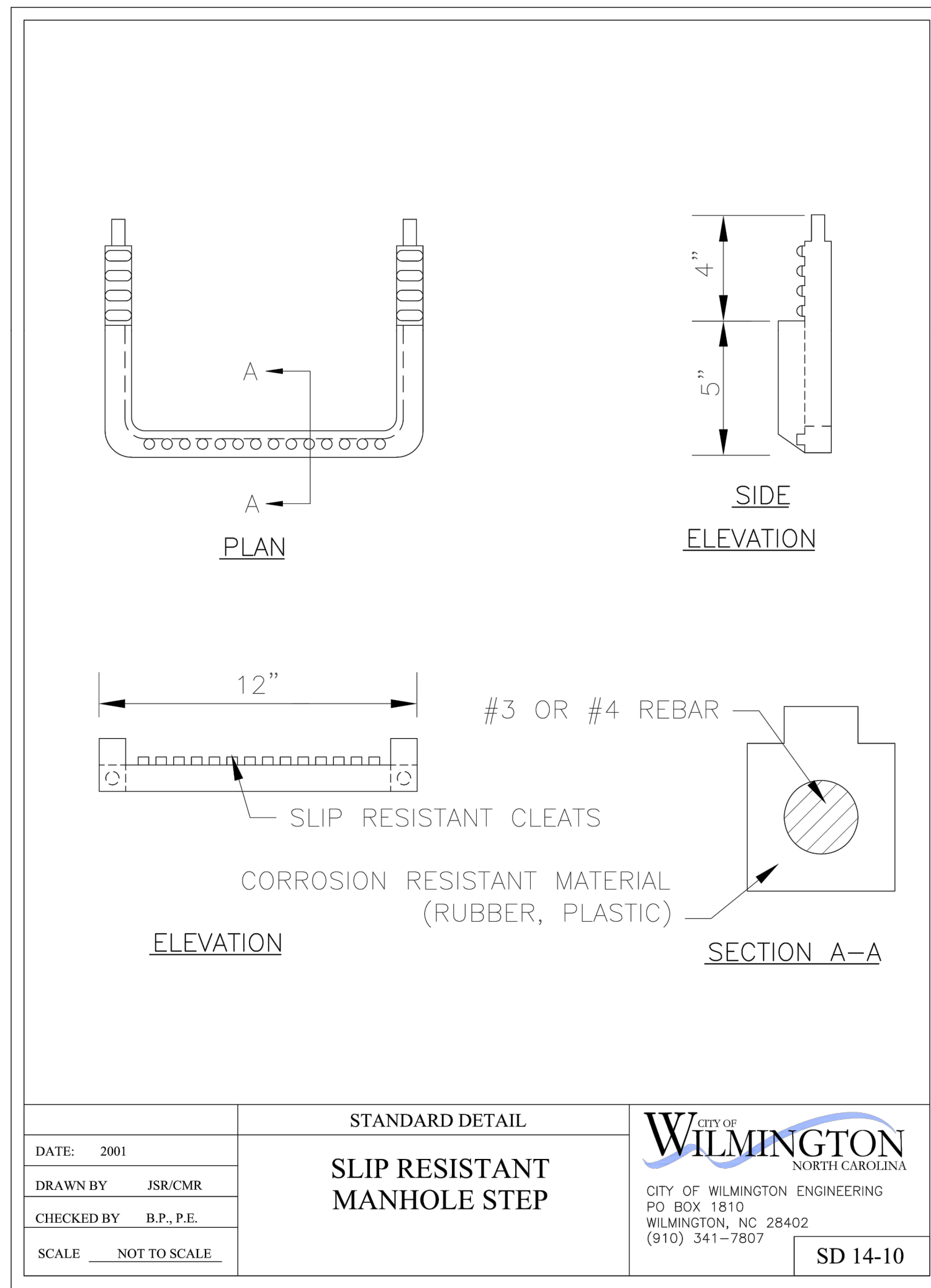
CFPUA SANITARY SEWER

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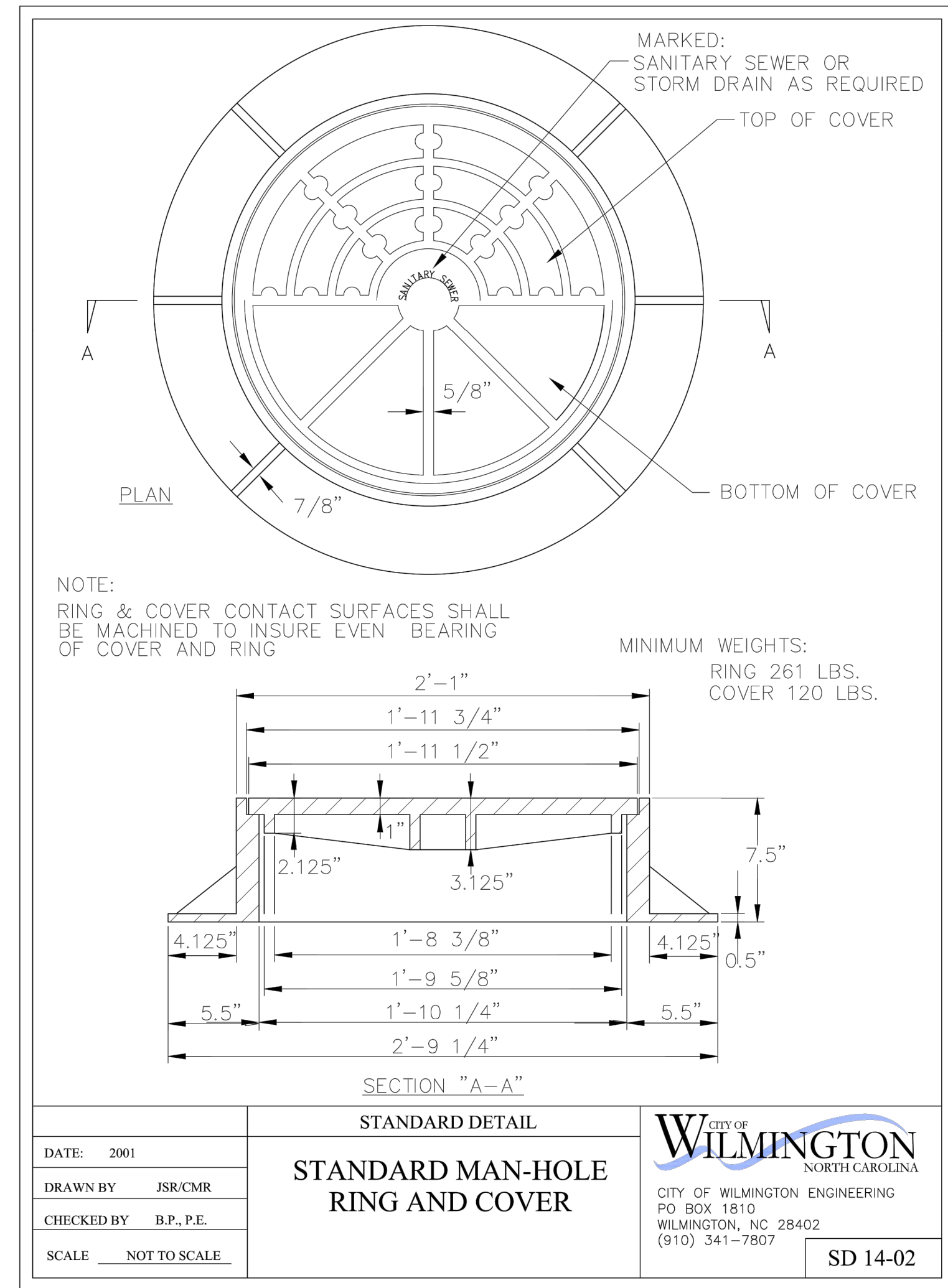
REV	DESCRIPTION	DATE
1	ADD NOTES TO THE STRUCTURAL BRIDGING DETAIL	08/15/18
2	REVISION TRACER WIRE DETAIL	08/15/18
3	REVISION FORCE MAIN Ditch and Storm Drain Crossing Detail	08/15/18

STANDARD DETAILS

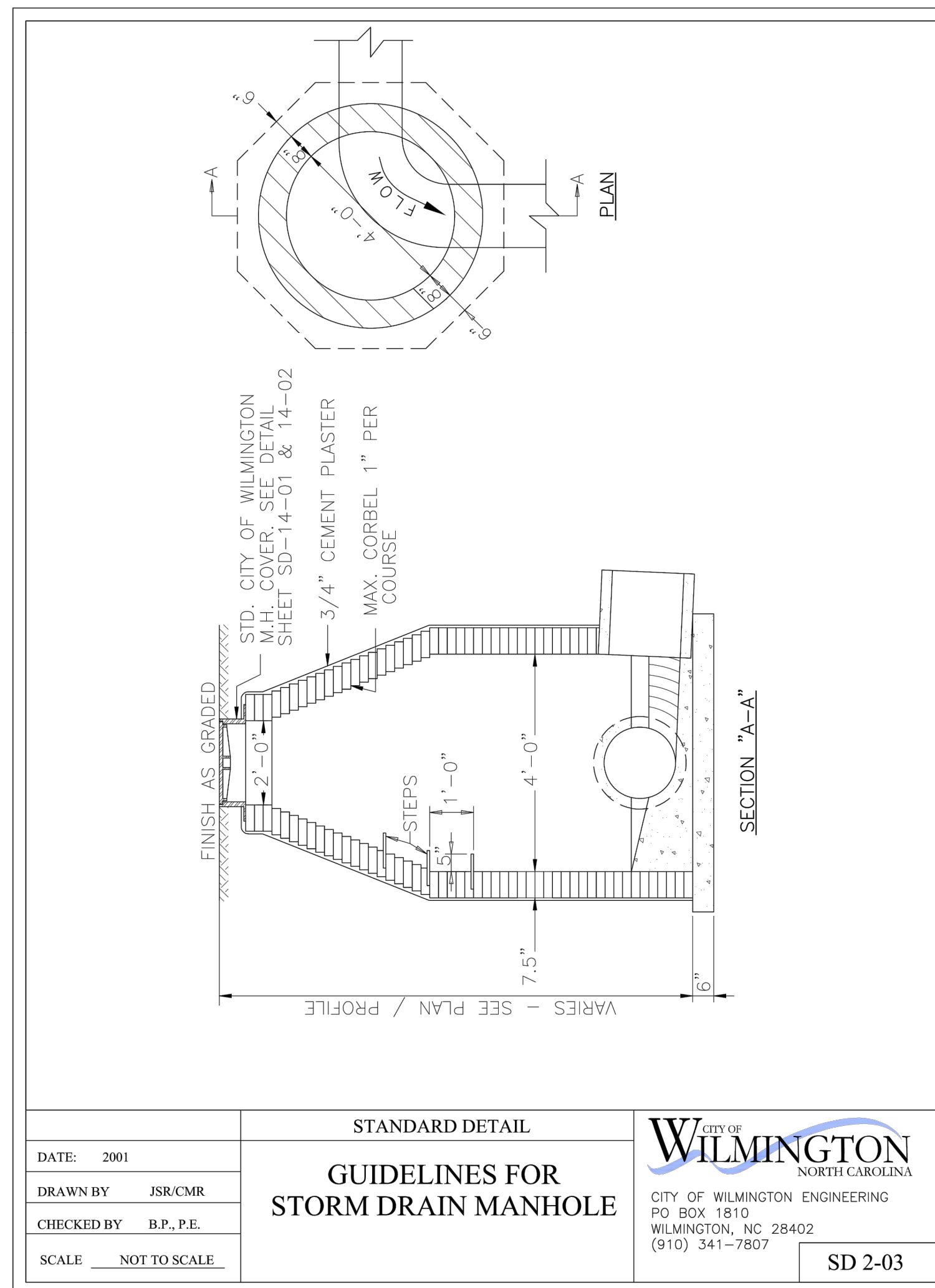
SHEET NO. **SSD-4**



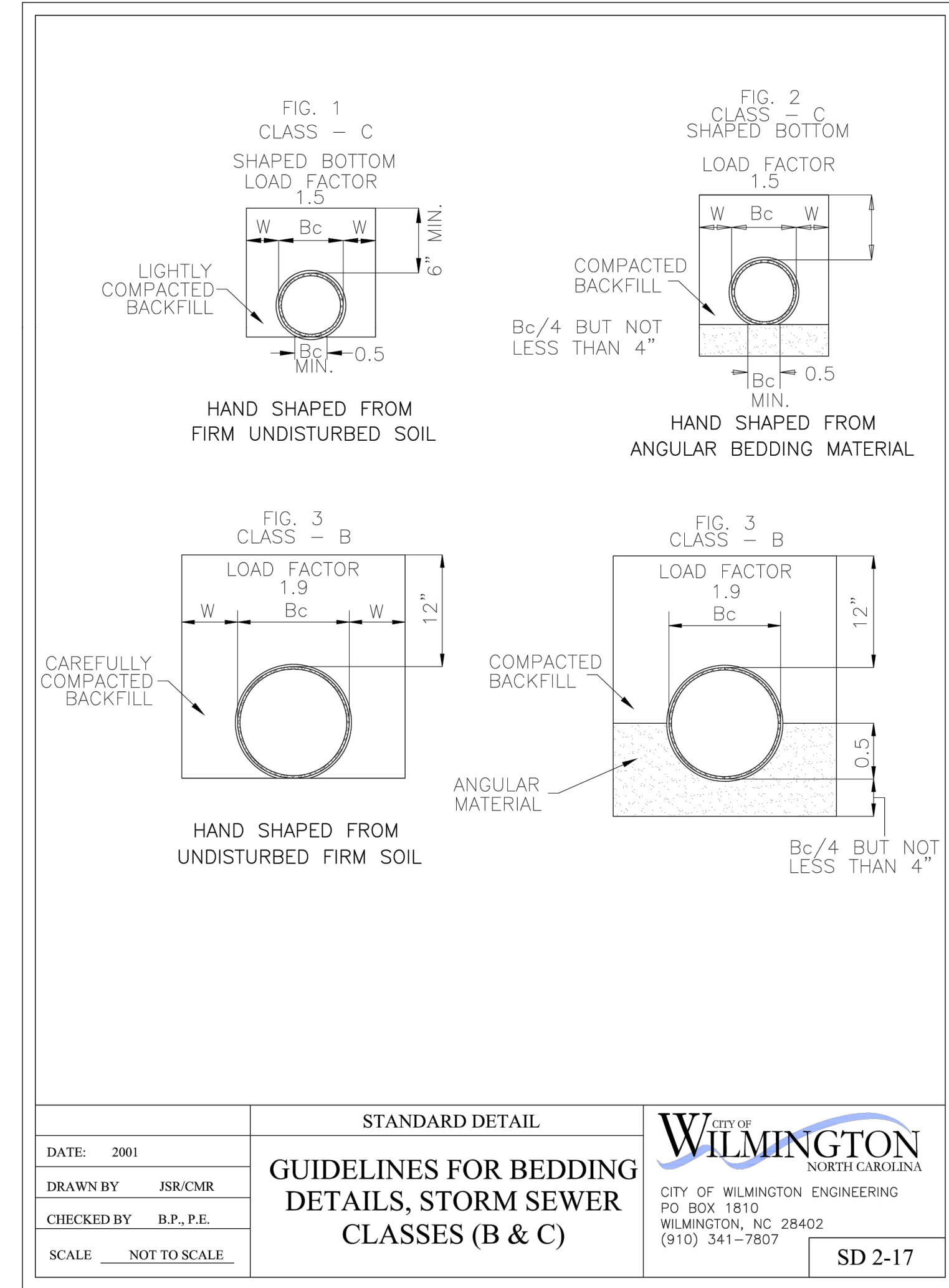
1 MANHOLE STEP NTS



2 MANHOLE RING & COVER NTS



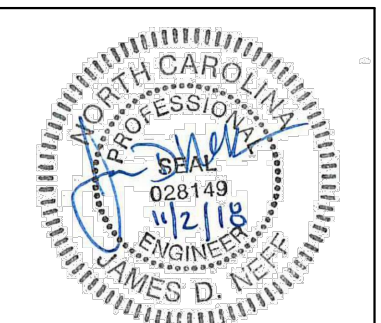
3 STORM DRAIN MANHOLE NTS



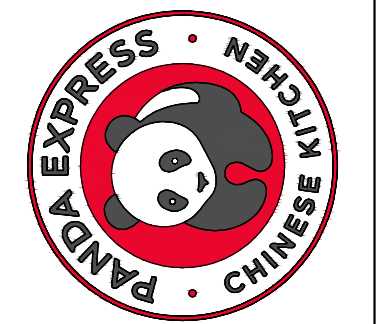
4 STORM PIPE BEDDING NTS



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 14491 N DALE HENRY HWY
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 TAMPA, FL 33618
 813.367.0084



PANDA EXPRESS, INC.
 STORE NUMBER: #####
 DEVELOPMENT NUMBER: 6611
 11 VAN CAMPEN BOULEVARD
 WILMINGTON, NORTH CAROLINA



CLIENT:
PANDA EXPRESS, INC.
 1683 WALNUT GROVE AVENUE
 ROSEMEAD, CALIFORNIA 91770
 PHONE: 626-799-9898

NO.	DESCRIPTION	DATE

THE CIVIL ENGINEER REGULARLY UPDATES ELECTRONIC FILES DURING THE DEVELOPMENT OF A PROJECT. AS A RESULT, THE DATA INCLUDED IN ANY CAD FILE OR DRAWING PRIOR TO ITS FINAL RELEASE DOES NOT NECESSARILY REFLECT THE COMPLETE SCOPE OR CONTENT AS DEFINED IN THE CONTRACT. THE CONTENTS IN THESE FILES MAY THEREFORE BE PRELIMINARY, INCOMPLETE WORK IN PROGRESS, AND SUBJECT TO CHANGE. FURTHERMORE, THE INFORMATION CONTAINED HEREIN IS THE EXCLUSIVE PROPERTY OF THE CIVIL ENGINEER. THE ORIGINAL LEGAL REPRESENTATION HEREIN BY THIS INFORMATION SHALL NOT BE USED, ALTERED, OR REPRODUCED IN ANY MANNER WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE CIVIL ENGINEER. THESE PLANS ARE SUBJECT TO FEDERAL COPYRIGHT LAWS. ANY USE OF SAME WITHOUT EXPRESSED WRITTEN PERMISSION OF THE CIVIL ENGINEER IS PROHIBITED.

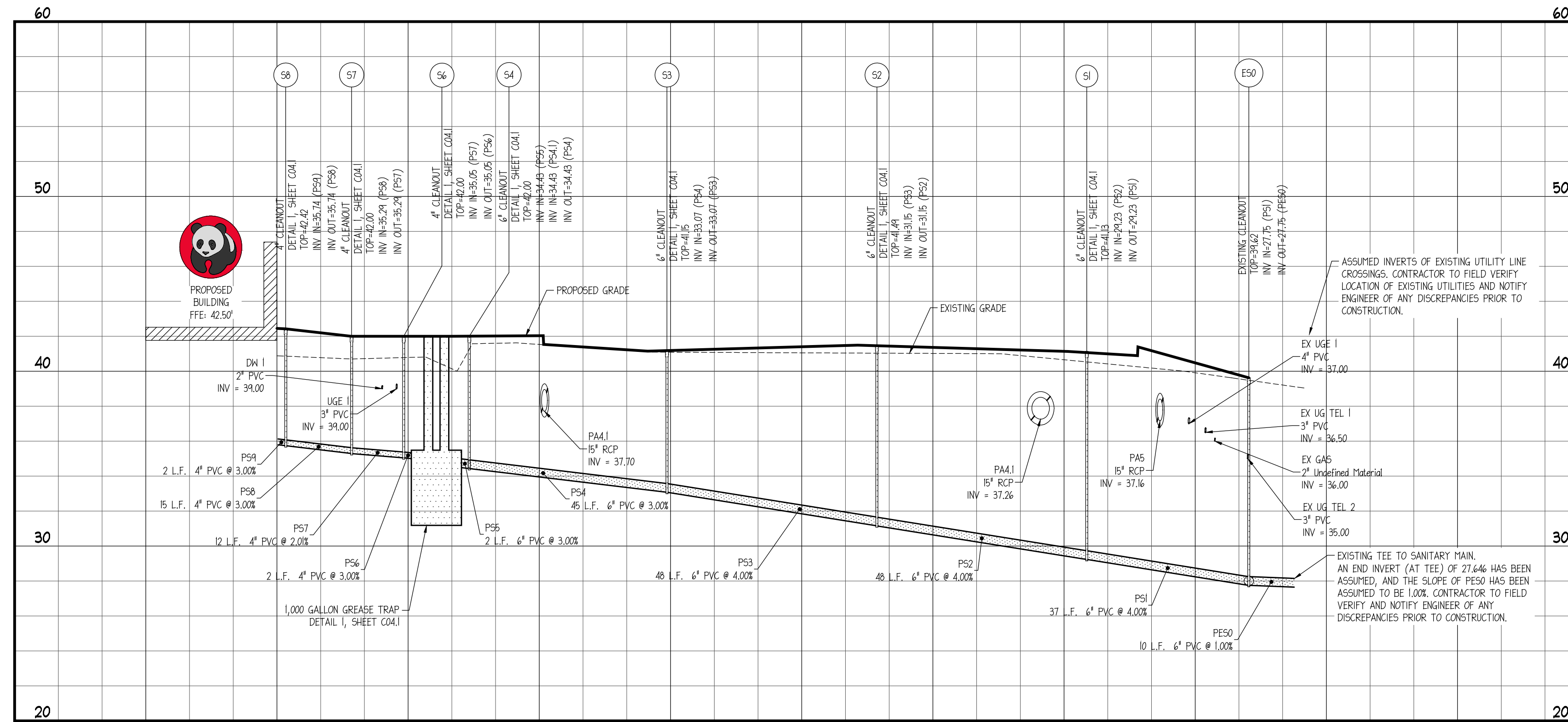
PROJ # 180058
 DWG NAME 180058 C04.DWG
 ISSUE DATE 11/02/2018
 PROJ TGR, LLC

UTILITY DETAILS III

C04.3
 SHEET NUMBER

ISSUE FOR PERMIT

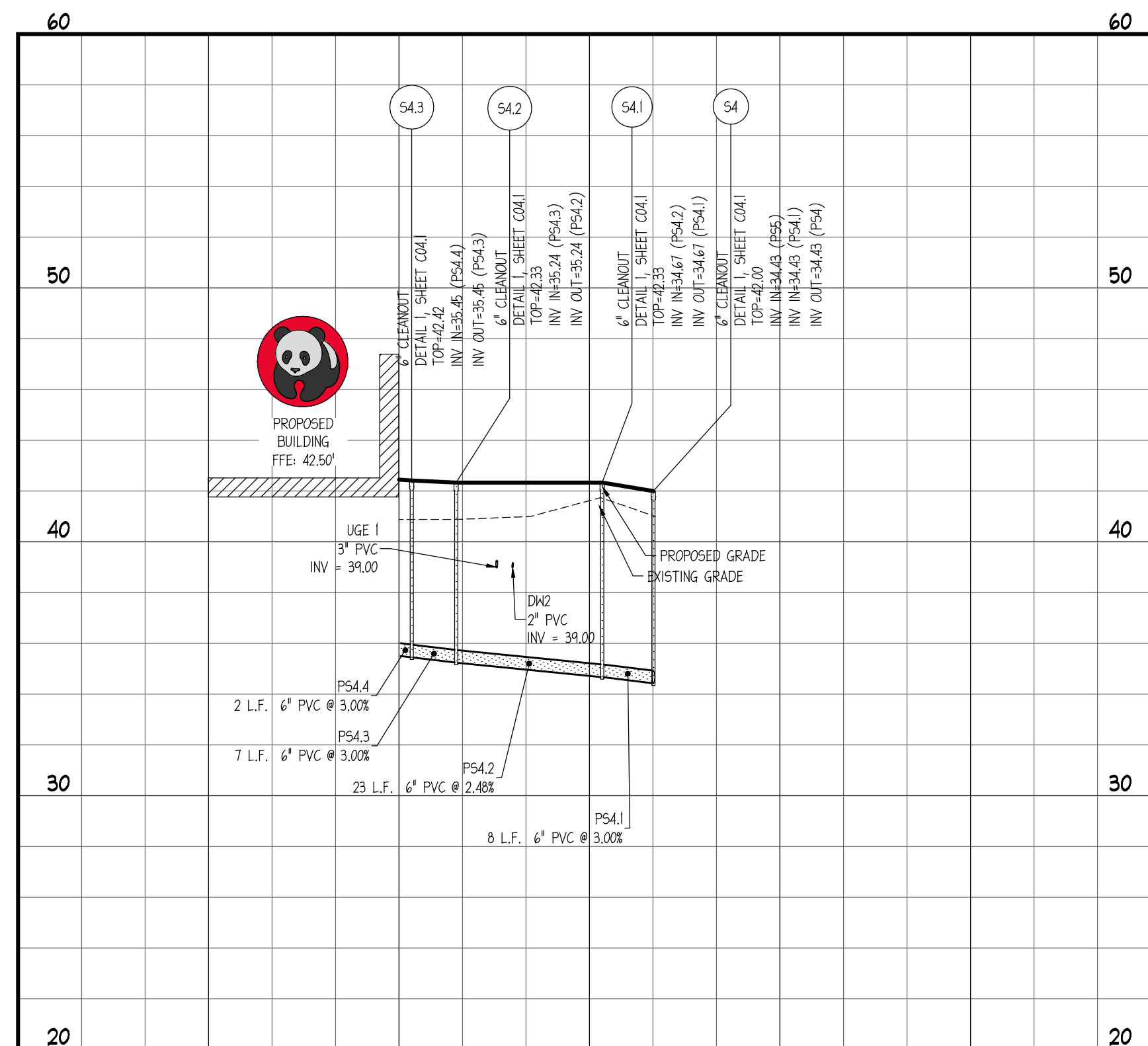
SANITARY PROFILE S9 TO E50



HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

- #### PROFILE NOTES
- CONTROLLED BACK FILL TO BE PLACED IN 6" LOOSE LIFT AND COMPACTED TO 100% ASTM D-98 PRIOR TO STORM AND SANITARY SEWER CONSTRUCTION. BACK FILL SHALL BE PLACED TO A MINIMUM OF 12" ABOVE THE CROWN ELEVATION OF THE PIPES.
 - STORM DRAIN AND SANITARY SEWER LENGTHS ARE MEASURED FROM CENTER LINE OF STRUCTURE TO CENTERLINE OF STRUCTURE OR FACE OF HEADWALL.
 - ALL PIPE LENGTHS SHOWN ARE ROUNDED TO THE NEAREST FOOT.
 - ALL STORM DRAIN PIPING SHALL BE TRENCHED, BEDDED, AND BACK FILLED ACCORDING TO DETAIL 4, SHEET C04.3, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - ALL SANITARY SEWER PIPING SHALL BE TRENCHED, BEDDED, AND BACK FILLED ACCORDING TO DETAIL 1, SHEET C04.1, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - UNFORESEEN SUBSURFACE CONDITIONS SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION IMMEDIATELY. IMPLEMENTATION OF CORRECTIVE BEDDING MEASURES WITHOUT THE OWNER'S APPROVAL SHALL BE AT THE CONTRACTOR'S OWN RISK AND AT NO ADDITIONAL COMPENSATION.
 - EXISTING GRADES SHOWN ARE APPROXIMATE AND DO NOT REFLECT TOP SOIL REMOVAL, CLEARING, AND GRUBBING OPERATIONS. THE CONTRACTOR SHALL ASCERTAIN FOR HIMSELF THE EXTENT OF DISTURBANCE FOR THESE ACTIVITIES.
 - THE CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT PREPARED FOR THE OWNER FOR SUBSURFACE CONDITIONS. THE GEOTECHNICAL REPORT IS NOT A PART OF THE CONTRACT DOCUMENTS.
 - EXCAVATIONS FOR STRUCTURES SHALL BE TAKEN AS A TRENCHING EXCAVATION WITHOUT FURTHER COMPENSATION.
 - SEE SHEET C04.1 FOR GENERAL NOTES.

SANITARY PROFILE S4.4 TO S4



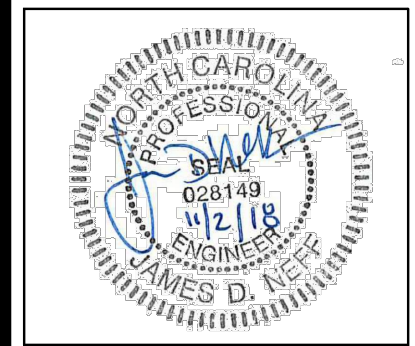
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

SANITARY STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
E50	EXISTING CLEANOUT	39.62	27.75 (P51)	27.75 (P50)
S1	6" CLEANOUT DETAIL 1, SHEET C04.1	41.13	29.23 (P52)	29.23 (P51)
S2	6" CLEANOUT DETAIL 1, SHEET C04.1	41.49	31.15 (P53)	31.15 (P52)
S3	6" CLEANOUT DETAIL 1, SHEET C04.1	41.15	33.07 (P54)	33.07 (P53)
S4	6" CLEANOUT DETAIL 1, SHEET C04.1	42.00	34.43 (P55) 34.43 (P54.1)	34.43 (P54)
S4.1	6" CLEANOUT DETAIL 1, SHEET C04.1	42.33	34.67 (P54.2)	34.67 (P54.1)
S4.2	6" CLEANOUT DETAIL 1, SHEET C04.1	42.33	35.24 (P54.3)	35.24 (P54.2)
S4.3	6" CLEANOUT DETAIL 1, SHEET C04.1	42.42	35.45 (P54.4)	35.45 (P54.3)
S4.4	BUILDING STUB	42.45		35.51 (P54.4)
S5	1,000 GALLON GREASE TRAP DETAIL 1, SHEET C04.1	42.00		
S5 IN	GREASE TRAP IN	42.00	34.99 (P56)	
S5 OUT	GREASE TRAP OUT	42.00		34.49 (P56)
S6	4" CLEANOUT DETAIL 1, SHEET C04.1	42.00	35.05 (P57)	35.05 (P56)
S7	4" CLEANOUT DETAIL 1, SHEET C04.1	42.00	35.29 (P58)	35.29 (P57)
S8	4" CLEANOUT DETAIL 1, SHEET C04.1	42.42	35.74 (P59)	35.74 (P58)
S9	BUILDING STUB	42.45		35.80 (P59)

SANITARY PIPE TABLE				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
P50	6"	10'	1.00%	PVC
P51	6"	37'	4.00%	PVC
P52	6"	48'	4.00%	PVC
P53	6"	48'	4.00%	PVC
P54	6"	45'	3.00%	PVC
P54.1	6"	8'	3.00%	PVC
P54.2	6"	23'	2.48%	PVC
P54.3	6"	7'	3.00%	PVC
P54.4	6"	2'	3.00%	PVC
P55	6"	2'	3.00%	PVC
P56	4"	2'	3.00%	PVC
P57	4"	12'	2.01%	PVC
P58	4"	15'	3.00%	PVC
P59	4"	2'	3.00%	PVC



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ENTERPRISES
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1449 N DALE HENRY HWY
SUITE 250
TAMPA, FL 33618
813.367.0084



PANDA EXPRESS, INC.
STORE NUMBER: #####
DEVELOPMENT NUMBER: 6611
11 VAN CAMPEN BOULEVARD
WILMINGTON, NORTH CAROLINA



CLIENT:
PANDA EXPRESS, INC.
1683 WALNUT GROVE AVENUE
ROSENHEAD, CALIFORNIA 91770
PHONE: 626-799-9898

REVISION HISTORY	
1	ISSUE FOR PERMIT

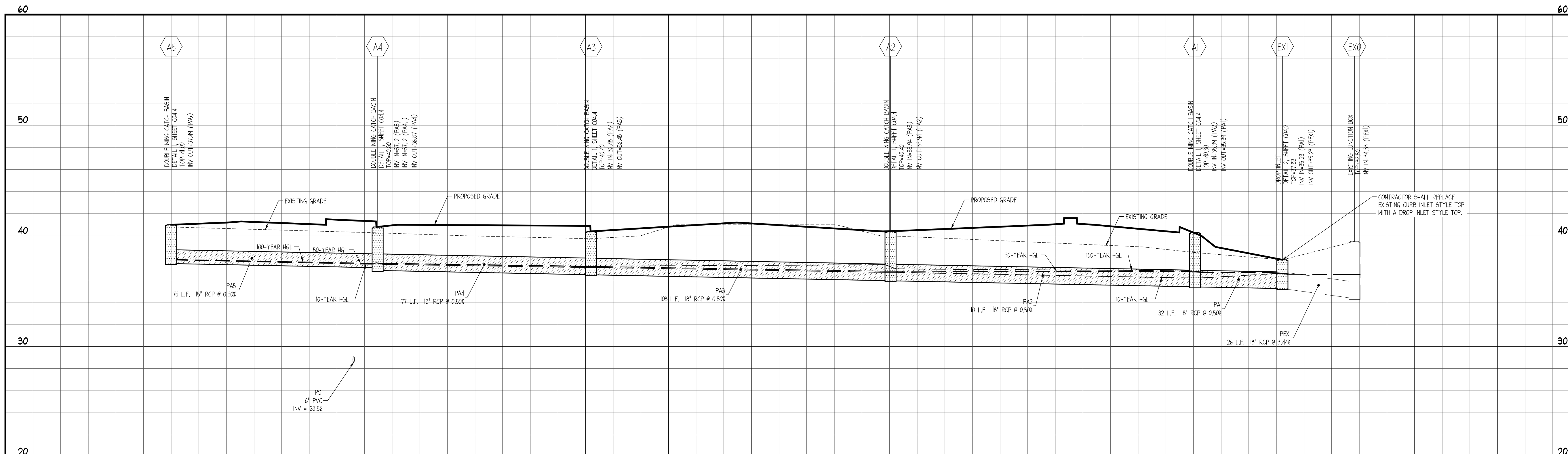
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PROJ # 180958
DWG NAME 180958 C04.DWG
ISSUE DATE 11/02/2018
PROJ TGR, LLC

PROFILES I
C04.5
SHEET NUMBER

ISSUE FOR PERMIT

STORM PROFILE A5 TO EX0

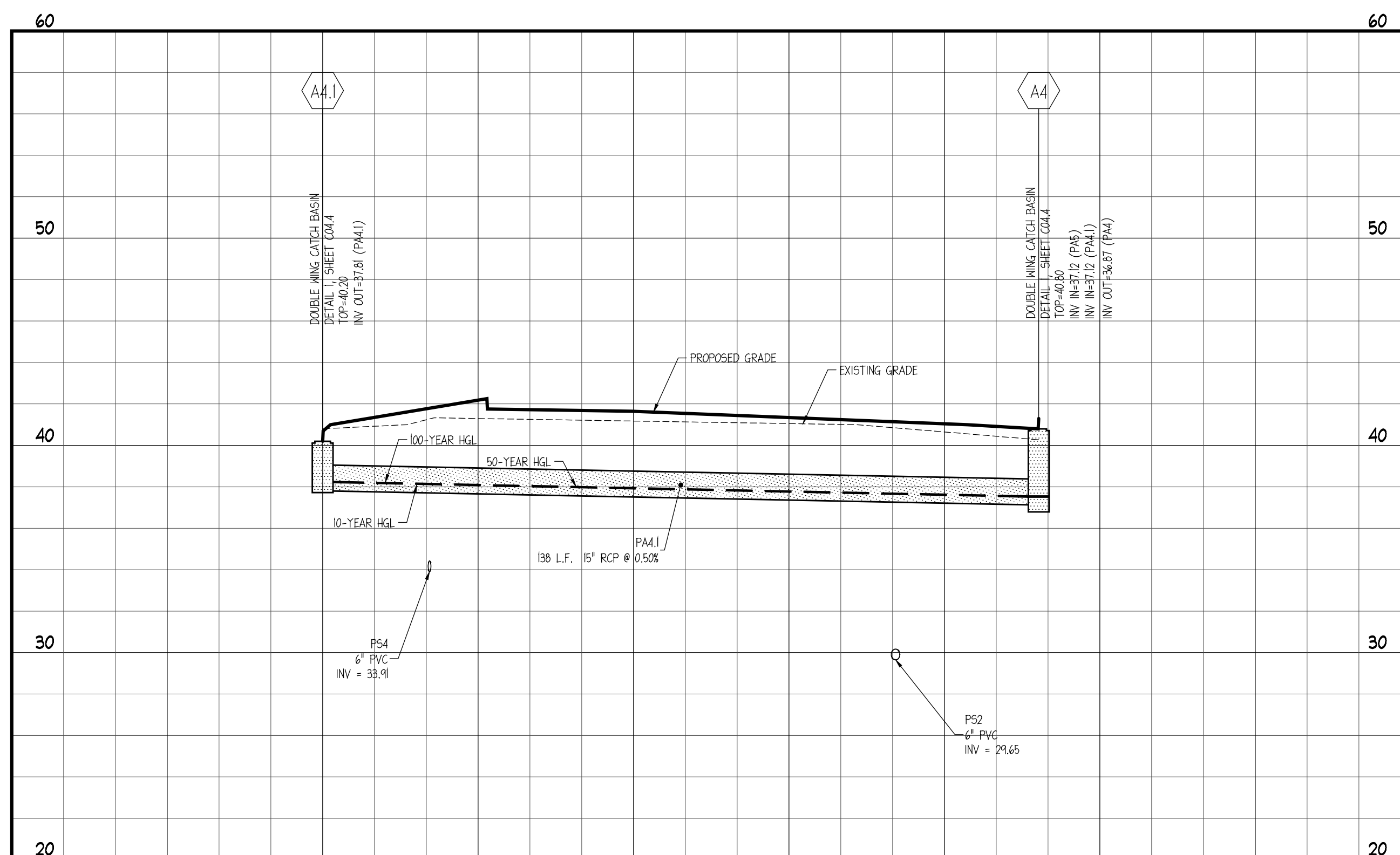


HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

STORM STRUCTURE TABLE				
STRUCTURE NAME	STRUCTURE TYPE	RIM ELEVATION	INVERT IN	INVERT OUT
A1	DOUBLE MING CATCH BASIN DETAIL 1, SHEET C04.4	40.30	35.39 (PA2)	35.39 (PA1)
A2	DOUBLE MING CATCH BASIN DETAIL 1, SHEET C04.4	40.40	35.94 (PA3)	35.94 (PA2)
A3	DOUBLE MING CATCH BASIN DETAIL 1, SHEET C04.4	40.40	36.48 (PA4)	36.48 (PA3)
A4	DOUBLE MING CATCH BASIN DETAIL 1, SHEET C04.4	40.80	37.12 (PA5)	36.87 (PA4)
A4.1	DOUBLE MING CATCH BASIN DETAIL 1, SHEET C04.4	40.20		37.81 (PA4.1)
A5	DOUBLE MING CATCH BASIN DETAIL 1, SHEET C04.4	41.00		37.49 (PA5)
EX0	EXISTING JUNCTION BOX DETAIL 2, SHEET C04.2	39.50	34.33 (PEX1)	
EX1	DROP INLET DETAIL 2, SHEET C04.2	37.83	35.23 (PA1)	35.23 (PEX1)

STORM PIPE TABLE				
NAME	SIZE	LENGTH	SLOPE	MATERIAL
PA1	18"	32'	0.50%	RCP
PA2	18"	110'	0.50%	RCP
PA3	18"	108'	0.50%	RCP
PA4	18"	77'	0.50%	RCP
PA4.1	15"	138'	0.50%	RCP
PA5	15"	75'	0.50%	RCP
PEX1	18"	26'	3.44%	RCP

STORM PROFILE A4.1 TO A4



HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

PROFILE NOTES

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- SEE SHEET C01 FOR GENERAL NOTES.

Storm Sewer Tabulation

10-YEAR STORM

Station	Line	To Line	Len (ft)	Dmg Area		Rnoft coeff (C)	Area x C		Tc (min)	Rain (I) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
				Incr (ac)	Total (ac)		Incr	Total						Inlet (min)	Syst (min)	Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
7	5	138.20'	0.17	0.17	0.79	0.13	0.13	5.0	5.0	7.2	0.97	4.94	3.07	15	0.50	37.12	37.81	37.50	38.20	40.80	40.20	PA4.1
6	5	74.728	0.10	0.10	0.91	0.09	0.09	5.0	5.0	7.2	0.66	4.92	2.74	15	0.50	37.12	37.49	37.43	37.81	40.80	41.00	PA5
5	4	77.239	0.09	0.36	0.87	0.08	0.30	5.0	6.8	7.0	2.13	8.08	3.24	18	0.50	36.48	36.87	37.14	37.42	40.40	40.80	PA4
4	3	108.404	0.14	0.50	0.94	0.13	0.44	5.0	6.1	6.9	3.01	8.03	3.69	18	0.50	35.94	36.48	36.70	37.14	40.40	40.40	PA3
3	2	110.162	0.16	0.66	0.92	0.15	0.58	5.0	6.6	6.8	3.96	8.04	4.27	18	0.50	35.39	35.94	36.19	36.70	40.30	40.40	PA2
2	1	31.650	0.08	0.74	0.83	0.07	0.65	5.0	7.1	6.7	4.34	8.09	3.56	18	0.51	35.23	35.39	36.59	36.19	37.83	40.30	PA1
1	End	26.144	0.20	0.94	0.40	0.08	0.73	5.0	7.2	6.6	4.85	21.11	2.87	18	3.44	34.33	35.23	36.50	36.52	39.50	37.83	PEX1

Storm Sewer Tabulation

50-YEAR STORM

Station	Line	To Line	Len (ft)	Dmg Area		Rnoft coeff (C)	Area x C		Tc (min)	Rain (I) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
				Incr (ac)	Total (ac)		Incr	Total						Inlet (min)	Syst (min)	Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
7	5	138.20'	0.17	0.17	0.79	0.13	0.13	5.0	5.0	9.0	1.21	4.94	3.27	15	0.50	37.12	37.81	37.54	38.24	40.80	40.20	PA4.1
6	5	74.728	0.10	0.10	0.91	0.09	0.09	5.0	5.0	9.0	0.82	4.92	2.79	15	0.50	37.12	37.49	37.49	37.85	40.80	41.00	PA5
5	4	77.239	0.09	0.36	0.87	0.08	0.30	5.0	5.7	8.8	2.68	8.08	3.47	18	0.50	36.48	36.87	37.22	37.49	40.40	40.80	PA4
4	3	108.404	0.14	0.50	0.94	0.13	0.44	5.0	6.1	8.7	3.78	8.03	3.98	18	0.50	35.94	36.48	36.80	37.22	40.40	40.40	PA3
3	2	110.162	0.16	0.66	0.92	0.15	0.58	5.0	6.6	8.6	4.99	8.04	3.84	18	0.50	35.39	35.94	36.78	36.80	40.30	40.40	PA2
2	1	31.650	0.08	0.74	0.83	0.07	0.65	5.0	7.0	8.4	5.46	8.09	3.25	18	0.51	35.23	35.39	36.65	36.69	37.83	40.30	PA1
1	End	26.144	0.20	0.94	0.40	0.08	0.73	5.0	7.2	8.4	6.10	21.11	3.59	18	3.44	34.33	35.23	36.50	36.54	39.50	37.83	PEX1

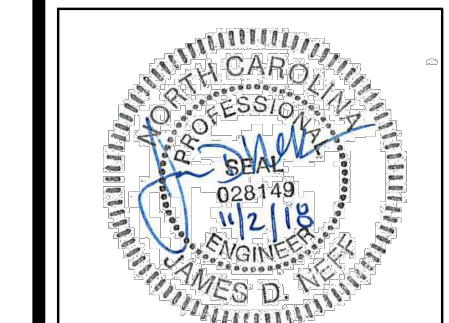
Storm Sewer Tabulation

100-YEAR STORM

Station	Line	To Line	Len (ft)	Dmg Area		Rnoft coeff (C)	Area x C		Tc (min)	Rain (I) (in/hr)	Total flow (cfs)	Cap full (cfs)	Vel (ft/s)	Pipe		Invert Elev		HGL Elev		Grnd / Rim Elev		Line ID
				Incr (ac)	Total (ac)		Incr	Total						Inlet (min)	Syst (min)	Size (in)	Slope (%)	Dn (ft)	Up (ft)	Dn (ft)	Up (ft)	
7	5	138.20'	0.17	0.17	0.79	0.13	0.13	5.0	5.0	9.8	1.32	4.94	3.35	15	0.50	37.12	37.81	37.56	38.26	40.80	40.20	PA4.1
6	5	74.728	0.10	0.10	0.91	0.09	0.09	5.0	5.0	9.8	0.89	4.92	2.80	15	0.50	37.12	37.49	37.52	37.86	40.80	41.00	PA5
5	4	77.239	0.09	0.36	0.87	0.08	0.30	5.0	5.7	9.6	2.91	8.08	3.57	18	0.50	36.48	36.87	37.26	37.52	40.40	40.80	PA4
4	3	108.404	0.14	0.50	0.94	0.13	0.44	5.0	6.0	9.5	4.12	8.03	3.41	18	0.50	35.94	36.48	37.39	37.26	40.40	40.40	PA3
3	2	110.162	0.16	0.66	0.92	0.15	0.58	5.0	6.6	9.3	5.42	8.04	3.55	18	0.50	35.39	35.94	36.84	37.01	40.30	40.40	PA2
2	1	31.650	0.08	0.74	0.83	0.07	0.65	5.0	7.1	9.1	5.94	8.09	3.47	18	0.51	35.23	35.39	36.68	36.74	37.83	40.30	PA1
1	End	26.144	0.20	0.94	0.40	0.08	0.73	5.0	7.2	9.1	6.64	21.11	3.89	18	3.44	34.33	35.23	36.50	36.55	39.50	37.83	PEX1



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